

LOT COVERAGE:

LOT AREA: 9881 SQ FT.
 MAIN FLOOR AREA: 1883 SQ FT.
 DEV. BASEMENT FLOOR: 1763 SQ FT.
 (SECONDARY SUITE AREA - 886 SQ FT.)
 TOTAL FOOTPRINT AREA: 2711 SQ FT.
 RATIO: 27%
 ALLOWABLE: 45.0%

- SHEET LEGEND**
- A1 - SITE PLAN & NOTES
 - A2 - ELEVATIONS
 - A3 - MAIN FLOOR
 - A4 - MAIN FLOOR PLAN
 - A5 - BASEMENT LAYOUT
 - A6 - BASEMENT PLAN
 - A7 - FOUNDATION PLAN
 - A8 - ROOF & DETAILS
 - A9 - SECTIONS & WINDOW/DOOR SCHEDULES

GENERAL NOTES

1. ALL CONSTRUCTION MATERIALS & WORKMANSHIP TO BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE B.C. BUILDING CODE PLUMBING CODE, ELECTRICAL CODE, AND ALL OTHER CODES, ZONING, AND BYLAWS THAT MAY APPLY.
2. THE CONTRACTOR AND ALL SUB-TRADES ARE RESPONSIBLE FOR THE REVIEW OF ALL DRAWINGS AND SITE CONDITIONS PRIOR TO COMMENCING WORK OR ORDERING ANY MATERIAL, AND SHALL REPORT AND DISCREPANCIES THAT AFFECT DESIGN TO WOOD CREEK IMMEDIATELY
3. ALL FRAMING MATERIAL TO BE S.P.F. #2 OR BETTER WITH THE EXCEPTION OF WALL STUDS
4. CONCRETE FOOTINGS AND WALLS TO BE A MINIMUM 28MPA @28 DAYS. FLOOR SLABS AND SIDEWALKS TO BE MINIMUM 32MPA @ 28 DAYS.
5. ALL CONCRETE FOOTINGS TO BE PLACED ON ORIGINAL UNDISTURBED GROUND, FREE OF ALL ORGANIC, FROZEN OR FROSTY MATERIAL.
6. DAMP PROOF FOUNDATION WALLS BELOW GRADE WITH 2 COATS OF BITUMINOUS MATERIAL.
7. 6 MIL. ULTRAVIOLET RESISTANT POLY VAPOUR BARRIER ON A.) 4" OF GRANULAR COMPACTABLE FILL UNDER EXTERIOR OR GARAGE SLABS. OR B.) 4" OF 3/8" DRAIN ROCK OR OTHER MATERIAL SUITABLE FOR MOVEMENT OF RADON GAS UNDER INTERIOR SLABS.
8. ALL FOUNDATION DRAINS TO BE 4" PERFORATED P.V.C. WITH FILTER CLOTH AND MINIMUM 6" DRAIN ROCK, DRAINED TO MUNICIPAL SERVICES ACCORDING TO LOCAL STANDARDS.
9. GRADE TO BE SLOPED AWAY FROM BUILDING AT ALL LOCATIONS ADJACENT TO BUILDING.
10. ALL TRUSSES I-JOISTS, BEAMS OR OTHER STRUCTURAL MEMBERS NOT COVERED IN B.C. BUILDING CODE TO BE DESIGNED AND ENGINEERED BY TRUSS MANUFACTURER OR STRUCTURAL ENGINEER PRIOR TO ANY FABRICATION.
11. CONTRACTOR TO VERIFY ALL PROPERTY AND FOUNDATION LINES WITH A LEGAL LAND SURVEYOR PRIOR TO PLACING FOOTINGS OR RUNNING SERVICES WITHIN BUILDING ENVELOPE.
12. ALL ROOF SPACES TO BE VENTILATED WITH SOFFIT AND ROOF VENTS WITH A MINIMUM DISTRIBUTION AREA OF 1/300. A MINIMUM OF 25% OF VENTS TO BE LOCATED AT ROOF. MINIMUM 25% TO BE LOCATED AT SOFFIT.
13. DOOR FRAMES AT ENTRANCES AND EXTERIOR SPACES TO DWELLING UNITS SHALL BE SOLIDLY BLOCKED BETWEEN DOOR FRAME AND STUDS AT THE HEIGHT OF THE DEADBOLT TO RESIST SPREADING.
14. ALL GLASS IN DOORS, SIDELITES OR WINDOWS WITHIN 12" OF FINISHED FLOOR TO BE CONSTRUCTED OF SAFETY GLASS.
15. RAIN WATER LEADERS NOT SHOWN ON PLAN. CONTRACTOR TO DETERMINE EXACT LOCATION SUITABLE TO SITE AND MUNICIPAL DRAINAGE.
16. ELECTRICAL LOCATIONS TO BE DETERMINED BY ELECTRICAL CONTRACTOR WITH THE APPROVAL OF THE HOME OWNER OR GENERAL CONTRACTOR AND IN ACCORDANCE WITH CURRENT ELECTRICAL CODE.
17. APPROVED SMOKE ALARMS TO BE INSTALLED WITH LOCATION APPROVED BY APPROPRIATE LOCAL MUNICIPALITY.
18. REFER TO LAOUTS AND SPECIFICATIONS FROM STRUCTURAL ENGINEER, FLOOR JOIST SUPPLIER, AND ROOF TRUSS MANUFACTURER FOR BEAM, POST, FOOTING LOCATIONS AND SIZES. ENSURE PROPER BEARING IS PROVIDED FOR ALL POINT LOADS. ANY STRUCTURAL SPECIFICATIONS SHOWN ON WOOD CREEK PLANS ARE ESTIMATES ONLY AND MAY NOT ACCURATELY REPRESENT LOADING AND SIZING. OR MAY NOT INCLUDE POINT LOADS OR STRUCTURAL MEMBERS DESIGNED BY OTHERS.

NOTE: ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL CODES AND BYLAWS. DESIGN OF FOUNDATION AND FOOTINGS TO BE MODIFIED TO SUIT LOCAL SOIL CONDITIONS AS REQUIRED
 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE. THIS DRAWING IS THE PROPERTY OF WOOD CREEK CONSTRUCTION AND MAY BE USED ONLY FOR THE PURPOSE FOR WHICH IT IS LOANED BY THE COMPANY

NO.	DATE	DESCRIPTION
1	APR 2020	WIDENED HOUSE ON LIVING ROOM
		SIDE 1: WIDENED DEN BY 2. STAIRS
		MOVED RIGHT 2: KITCHEN WALL
		MOVED RIGHT 1: DECK SHIFTED OVER
		BY 1: STRIP FOOTINGS AND POINT
		LOADS/ BEAM LOCATION CHANGED
2	APR 23/20	MAIN AND LOWER FLOOR PLANS
		REVISED
3	APR 28/20	MAIN AND LOWER FLOOR PLANS
		REVISED
4	MAY 15/20	WINDOW LOCATIONS/SIZES
		LINEN CLOSETS
		SOAP CUBBIES FOR SHOWERS
		FRIDGE/FREEZER COVE

NO.	DATE	DESCRIPTION
REVISIONS		



LEGAL DESCRIPTION
 LOT 7, SEC 11, TP 20, R 10, W6M, W6M

SITE PLAN
 LOT 7, SEC 11, TP 20, R 10, W6M, W6M
 (Civic Address), FOOTHILLS ESTATES
THE _____ RESIDENCE
 NOTE: GEOMATIC/SURVEY/GRADES REQ'D

SITE PLAN

PROJECT NO.	
CUSTOMER	LOT 7 - FHE
SHEET TITLE	SITE PLAN & GENERAL NOTES
DATE	MAY 15/2020
SCALE	3/32"=1'
DRAWN	PC
CHECKED	XX
SHEET NUMBER	A-1

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NO.	DATE	DESCRIPTION
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REVISIONS



LEGAL DESCRIPTION

LOT 7, SEC 11, TP 20, R 10, W6M, W6M

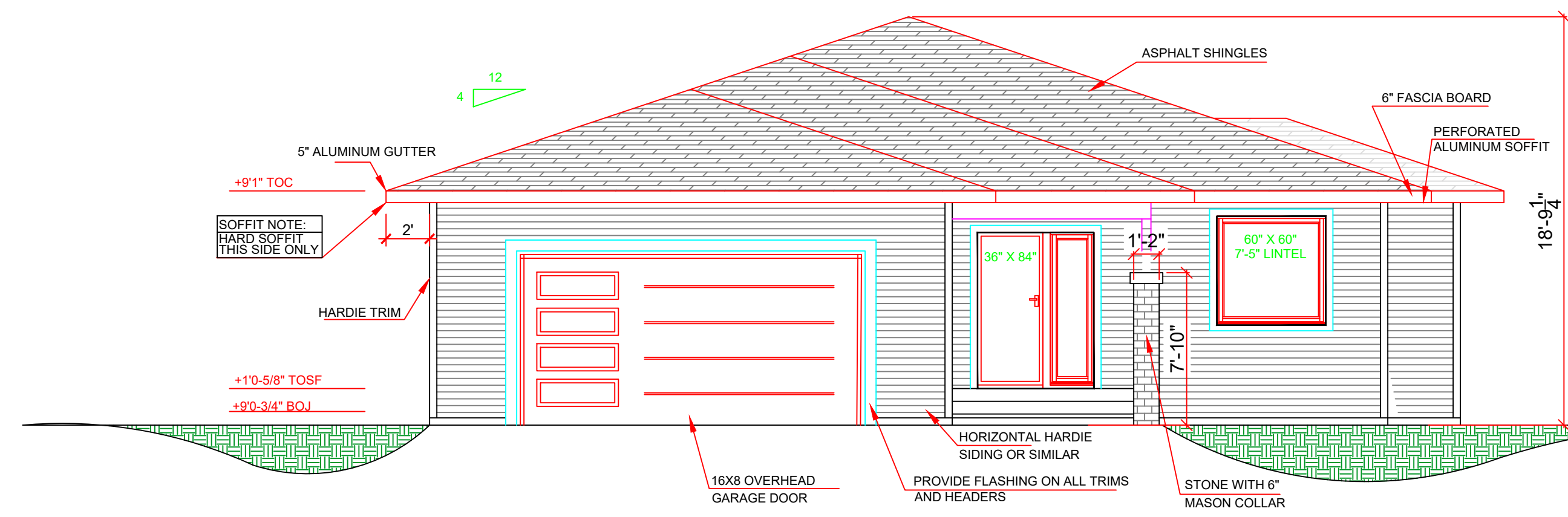
PROJECT NO.

CUSTOMER
 LOT 7 - FHE

SHEET TITLE

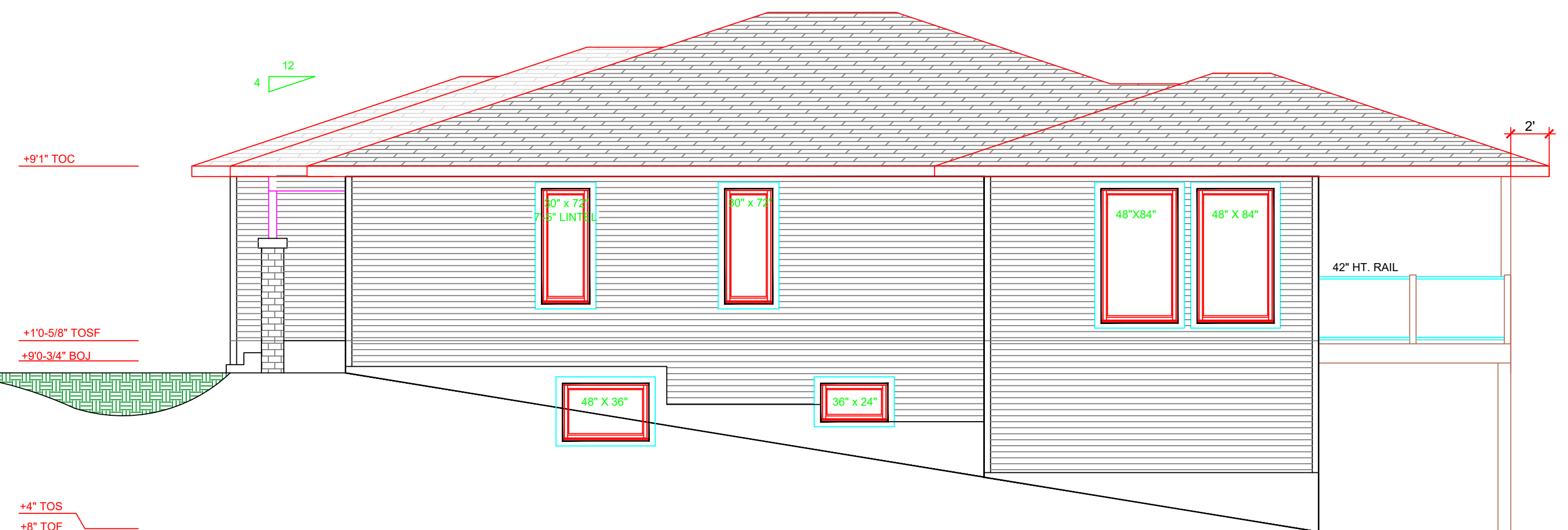
ELEVATIONS

DATE	MAY 15/2020	SHEET NUMBER	A-2
SCALE	3/16"=1'		
DRAWN	PC		
CHECKED	XX		



GLAZING CALCULATIONS	
WALL AREA (E.B.F.)	483 sq ft [44.87 sq m]
WINDOW AREA	65 sq ft [6.03 sq m]
RATIO	13%
ALLOWABLE	100%
LIMITING DISTANCE	18.20m [to center of road]

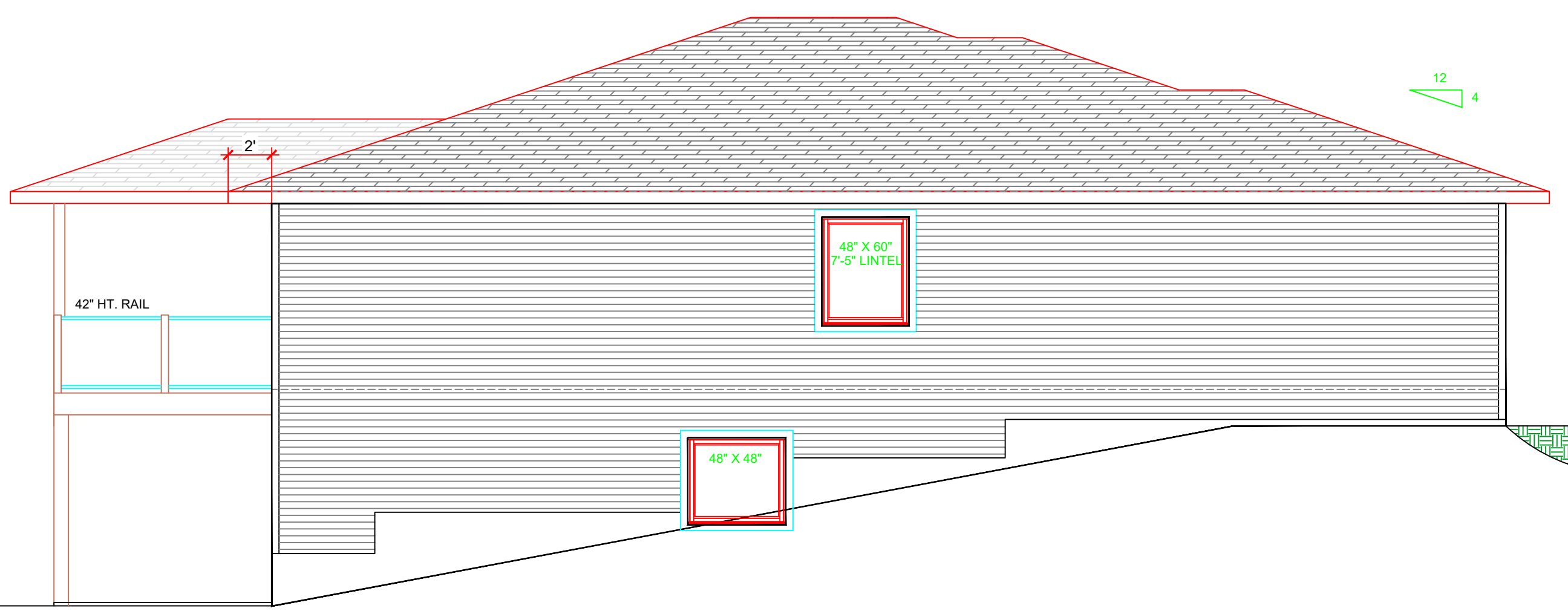
FRONT ELEVATION



GLAZING CALCULATIONS	LEFT	RIGHT
WALL AREA	430 sq ft [39.46 sq m]	297 sq ft [27.34 sq m]
WINDOW AREA	50 sq ft [4.5 sq m]	56 sq ft [5.15 sq m]
RATIO	11.7%	18%
ALLOWABLE	12%	39%
LIMITING DISTANCE	3.5m [to prop line]	4.21m [to prop line]

RIGHT ELEVATION

CONSTRUCTION OPTIONS
 NO H.R.V. INSTALLED
 NO SPRINKLER SYSTEM
 CONC. FOUNDATION &
 FRAMED WALLS



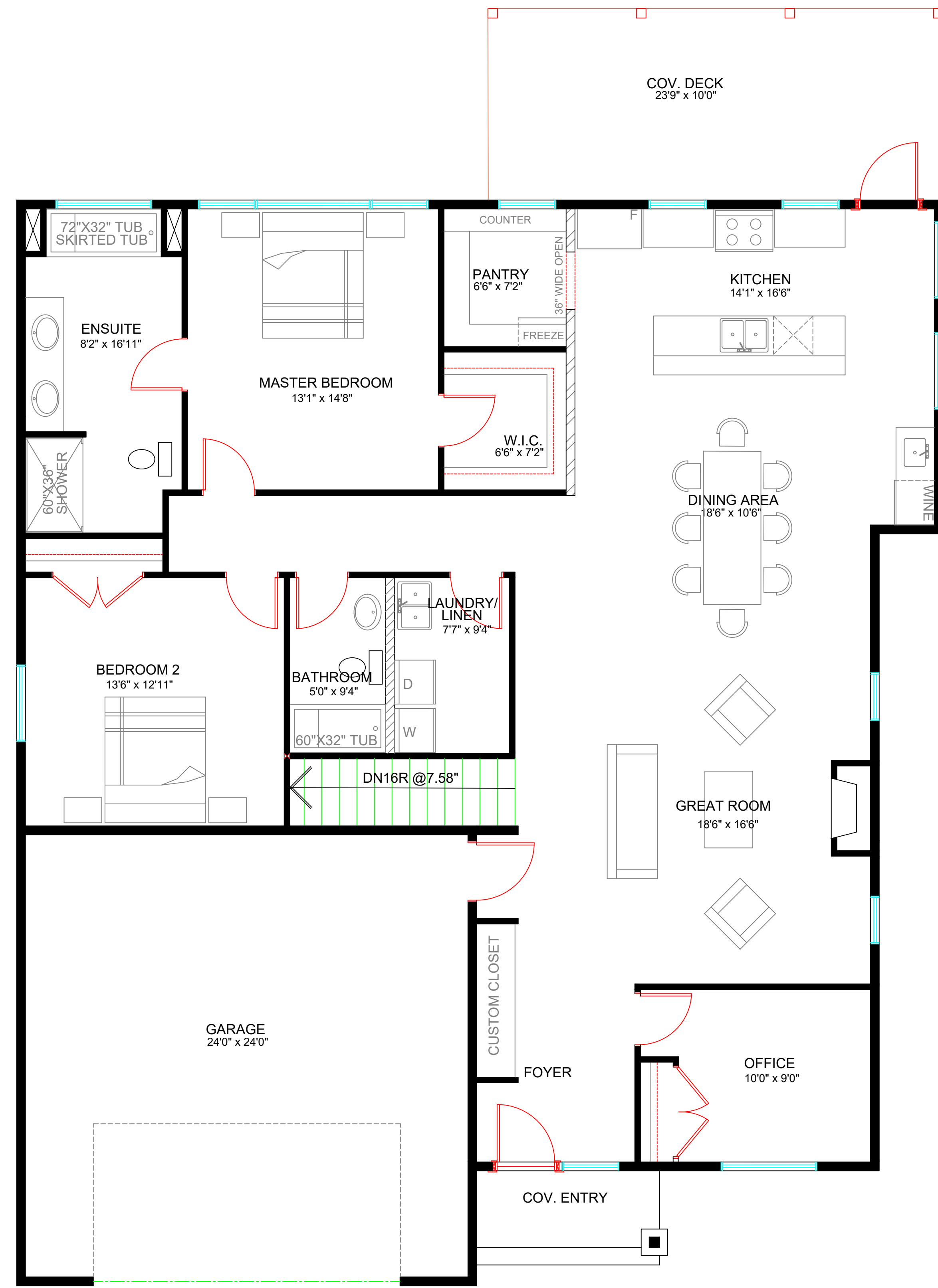
GLAZING CALCULATIONS	
WALL AREA (E.B.F.)	761 sq ft [70.69 sq m]
WINDOW AREA	32 sq ft [2.9 sq m]
RATIO	4%
ALLOWABLE	8%
LIMITING DISTANCE	1.5M [PROPERTY LINE]

LEFT ELEVATION



GLAZING CALCULATIONS	
WALL AREA (E.B.F.)	875 sq ft [81.29 sq m]
WINDOW AREA	187 sq ft [17.37 sq m]
RATIO	21%
ALLOWABLE	55%
LIMITING DISTANCE	12.87m [REAR PROP. LINE]

REAR ELEVATION



- SAFE & SOUND INSULATION
- PLUMB WALL
- L.B. WALL

- FLOOR NOTES**
1. FRAMED EXTERIOR WALLS DOES NOT INCLUDE EXTERIOR SHEATHING.
 2. ALL DIMENSIONS SHOWN ARE TO FRAMING AND DO NOT INCLUDE DRYWALL OR OTHER FINISHES
 3. ALL HEADERS TO BE 3-2X10 IN 2X6 WALLS AND 2-2X10 IN 2X4 WALLS UNLESS NOTED OTHERWISE
 4. ALL DOORS AND WINDOWS FRAMED 4-1/2" FROM ADJACENT WALLS UNLESS NOTED OTHERWISE
 5. ALL DOOR SLABS TO MEASURE 80" IN HEIGHT UNLESS OTHERWISE NOTED
 6. INDIVIDUAL ROOM AREAS ARE CALCULATED FROM INSIDE OF FRAMING WHEREAS THE OVERALL FLOOR AREA IS CALCULATED TO OUTSIDE EXTERIOR WALLS

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REVISIONS



LEGAL DESCRIPTION

LOT 7, SEC 11, TP 20, R 10, W6M, W6M

PROJECT NO.

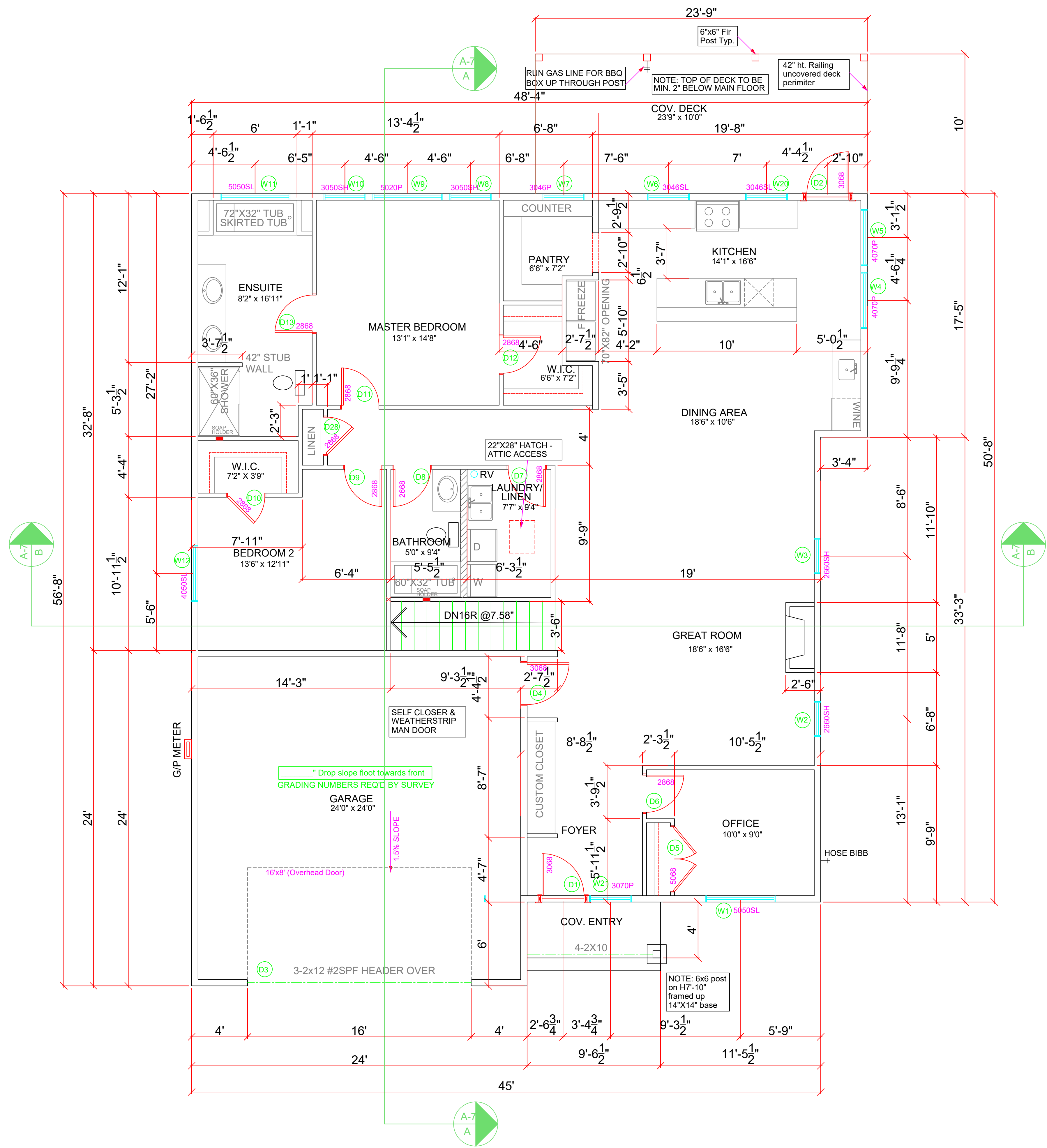
CUSTOMER
LOT 7 - FHE

SHEET TITLE
MAIN FLOOR LAYOUT

DATE	MAY 15/2020	SHEET NUMBER	A-3
SCALE	1/4"=1'		
DRAWN	PC		
CHECKED	XX		

MAIN FLOOR 1883 SQ. FT.
 Garage - 565 SQ FT.
 Deck/Porch Area - 238 SQ FT.
 9' Ceilings





WINDOW/DOOR LEGEND

PICTURE - P
 AWNING - A
 HORIZONTAL SLIDER - SL
 SINGLE HUNG - SH

- SAFE & SOUND INSULATION
- PLUMB WALL

- FLOOR NOTES**
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REVISIONS

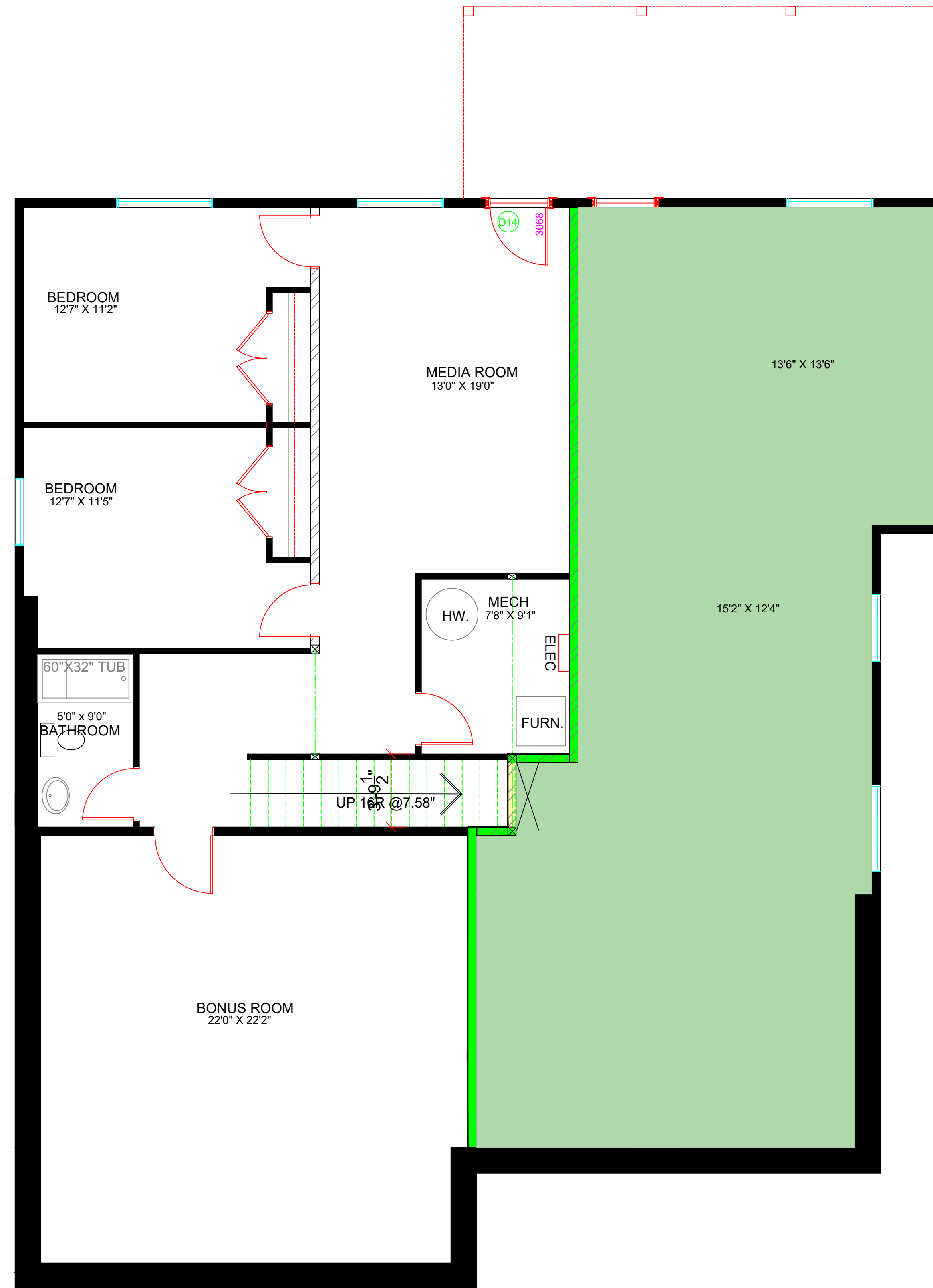


LEGAL DESCRIPTION
 LOT 7, SEC 11, TP 20, R 10, W6M, W6M

PROJECT NO.
 CUSTOMER
LOT 7 - FHE
 SHEET TITLE
MAIN FLOOR PLAN

DATE
 MAY 15/2020
 SCALE
 1/4"=1'-0"
 DRAWN
 PC
 CHECKED
 XX

SHEET NUMBER
A-4



- SAFE & SOUND INSULATION
- PLUMB WALL
- L.B. WALL
- SUITE

FLOOR NOTES

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REVISIONS

Wood Creek Construction Ltd.
-Building with Confidence-

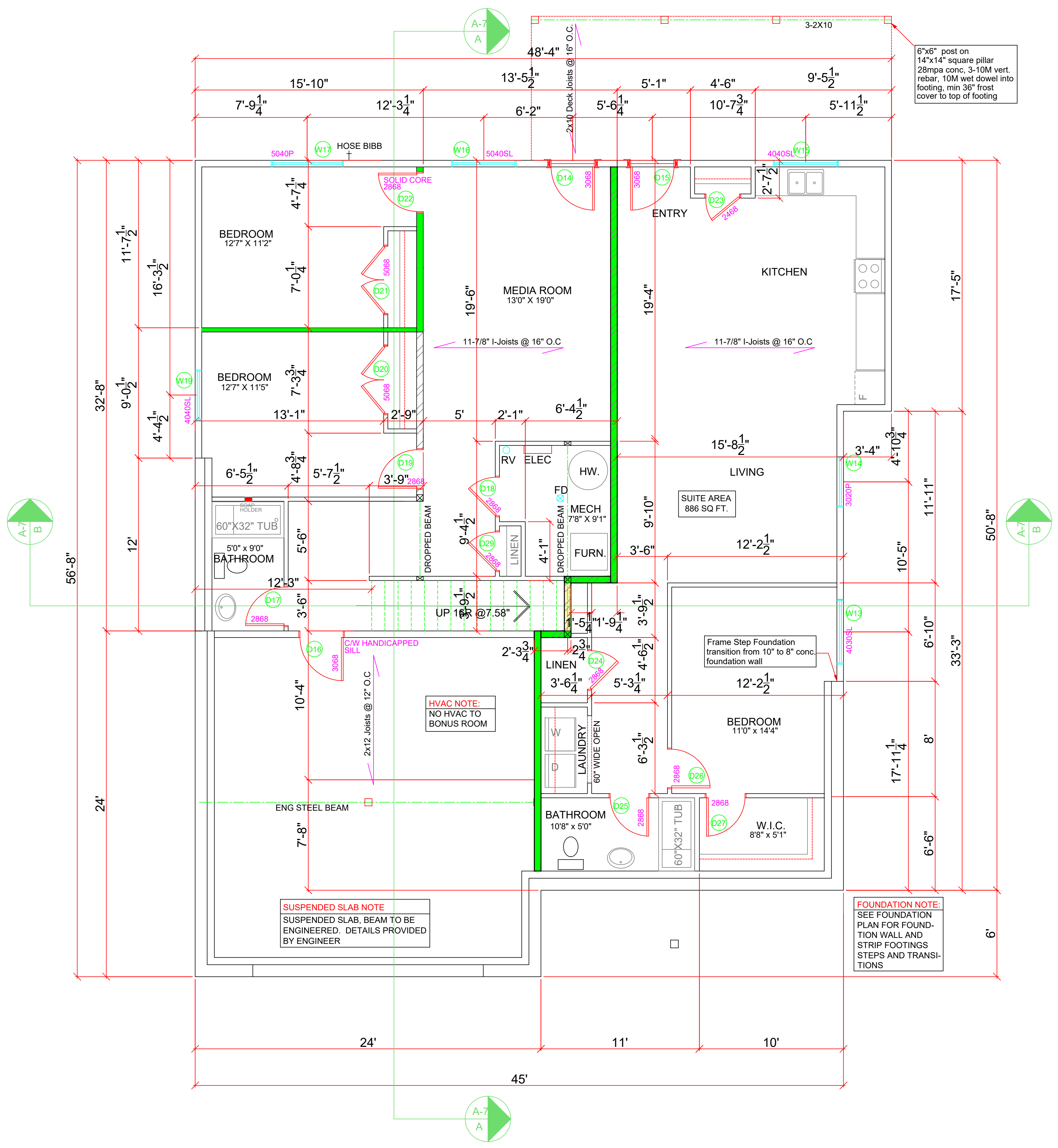
LEGAL DESCRIPTION
LOT 7, SEC 11, TP 20, R 10, W6M, W6M

PROJECT NO.
CUSTOMER
LOT 7 - FHE
SHEET TITLE
BASEMENT PLAN

DATE
MAY 15/2020
SCALE
1/4"=1'
DRAWN
PC
CHECKED
XX
SHEET NUMBER
A-5

DEV. BASEMENT 1763 SQ. FT.
Suite - 886 SQ. FT.
9' Ceilings

Wood Creek Construction Ltd.
-Building with Confidence-



WINDOW/DOOR LEGEND

- PICTURE - P
- AWNING - A
- HORIZONTAL SLIDER - SL
- SINGLE HUNG - SH

- SAFE & SOUND INSULATION
- PLUMB WALL
- L.B. WALL

FLOOR NOTES

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REVISIONS

Wood Creek Construction Ltd.
-Building with Confidence-

LEGAL DESCRIPTION

LOT 7, SEC 11, TP 20, R 10, W6M, W6M

PROJECT NO.

CUSTOMER

LOT 7 - FHE

SHEET TITLE

BASEMENT PLAN

DATE

MAY 15/2020

SCALE

1/4"=1'

DRAWN

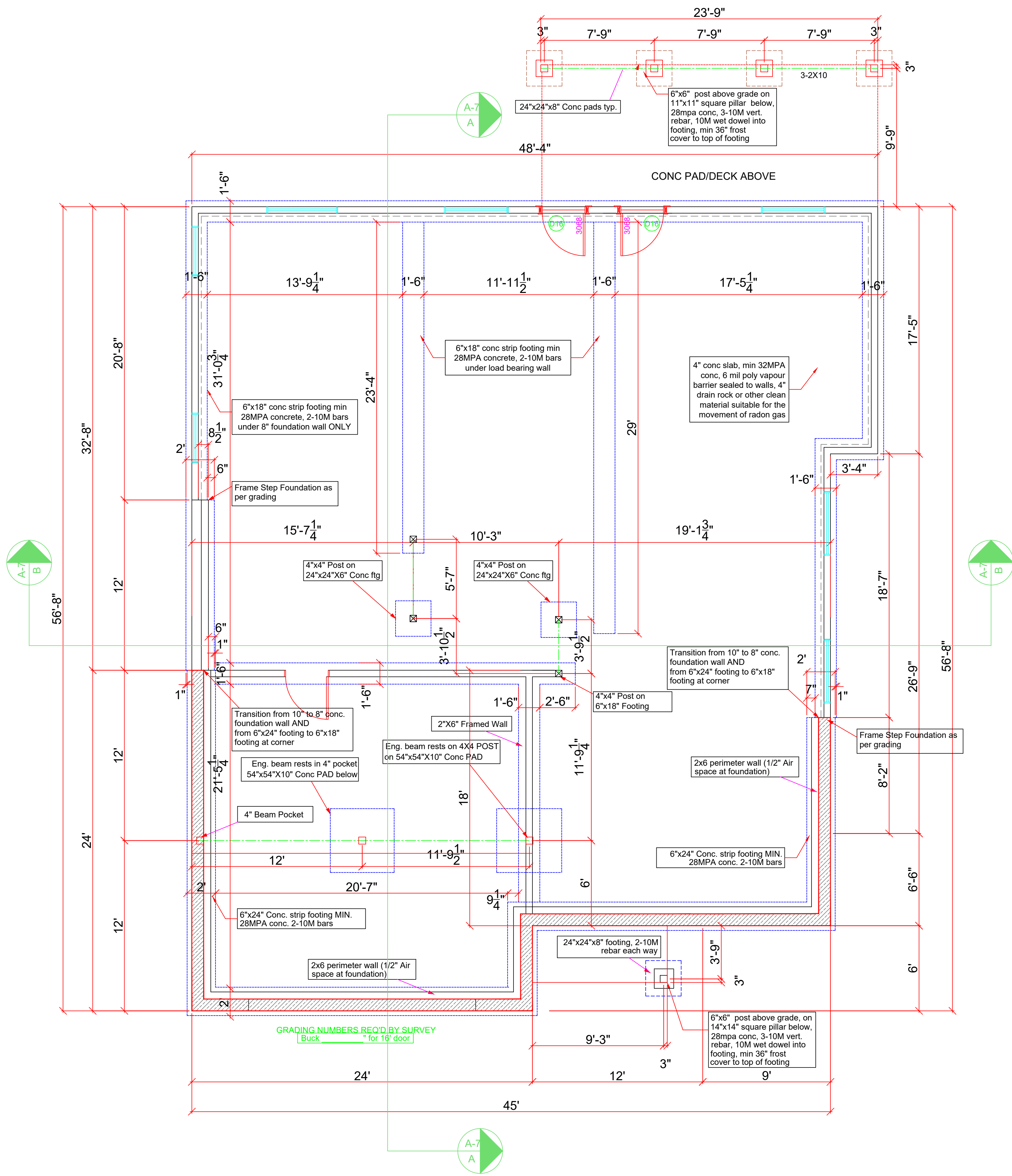
PC

CHECKED

XX

SHEET NUMBER

A-6



WINDOW/DOOR LEGEND
 PICTURE - P
 AWNING - A
 HORIZONTAL SLIDER - SL
 SINGLE HUNG - SH

- SAFE & SOUND INSULATION
- PLUMB WALL
- LOAD BEARING WALL
- 1' HIGHER FOUNDATION

10' FOUNDATION NOTE
 I-JOISTS TO BE HUNG FLUSH TO TOP OF FOUNDATION WALL, RESTING ON FRAMED WALL

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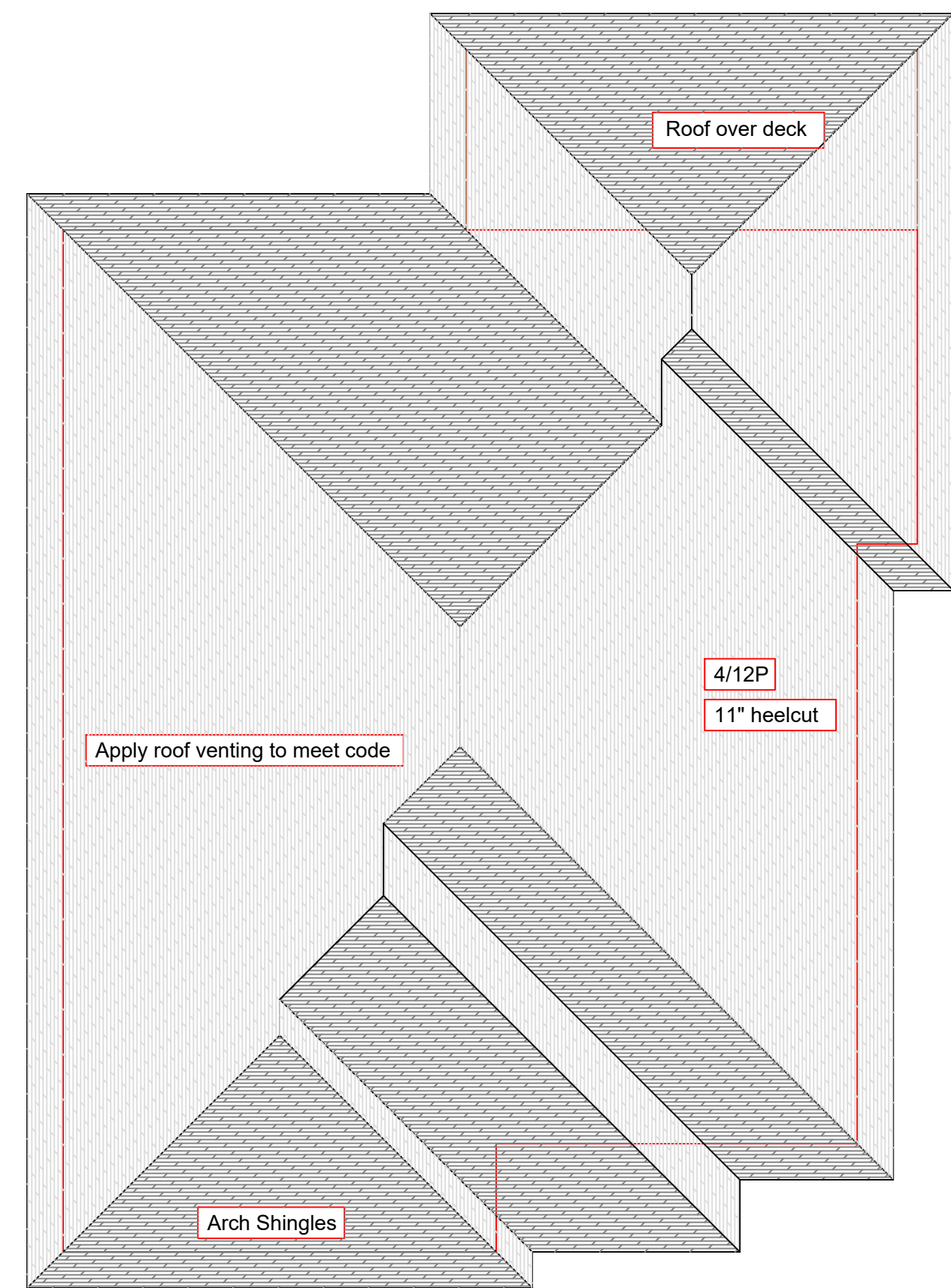
REVISIONS



LEGAL DESCRIPTION
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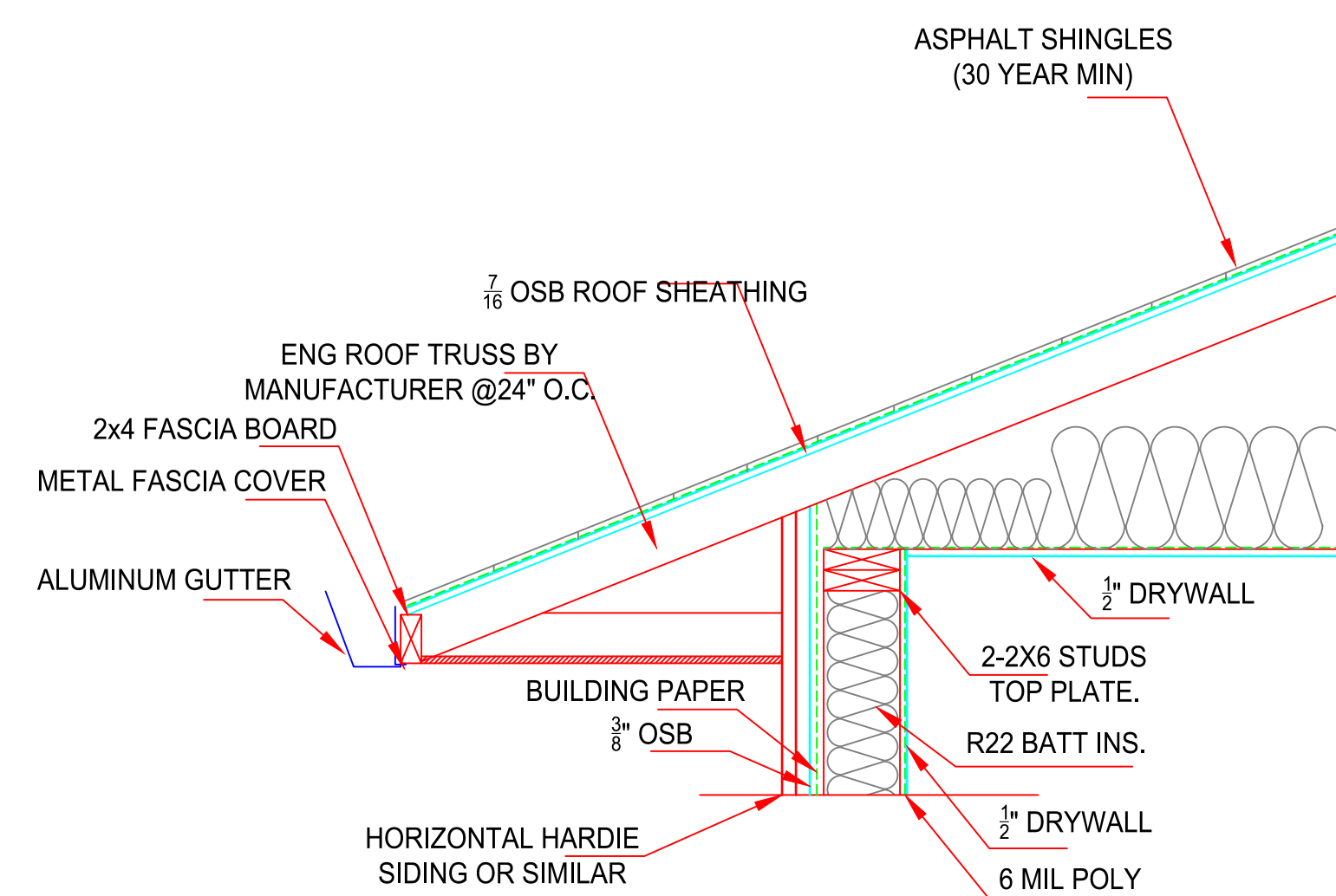
PROJECT NO.
 CUSTOMER
LOT 7 - FHE
 SHEET TITLE
FOUNDATION PLAN

DATE
 MAY 15/2020
 SCALE
 1/4"=1'-0"
 DRAWN
 PC
 CHECKED
 XX
 SHEET NUMBER
A-7



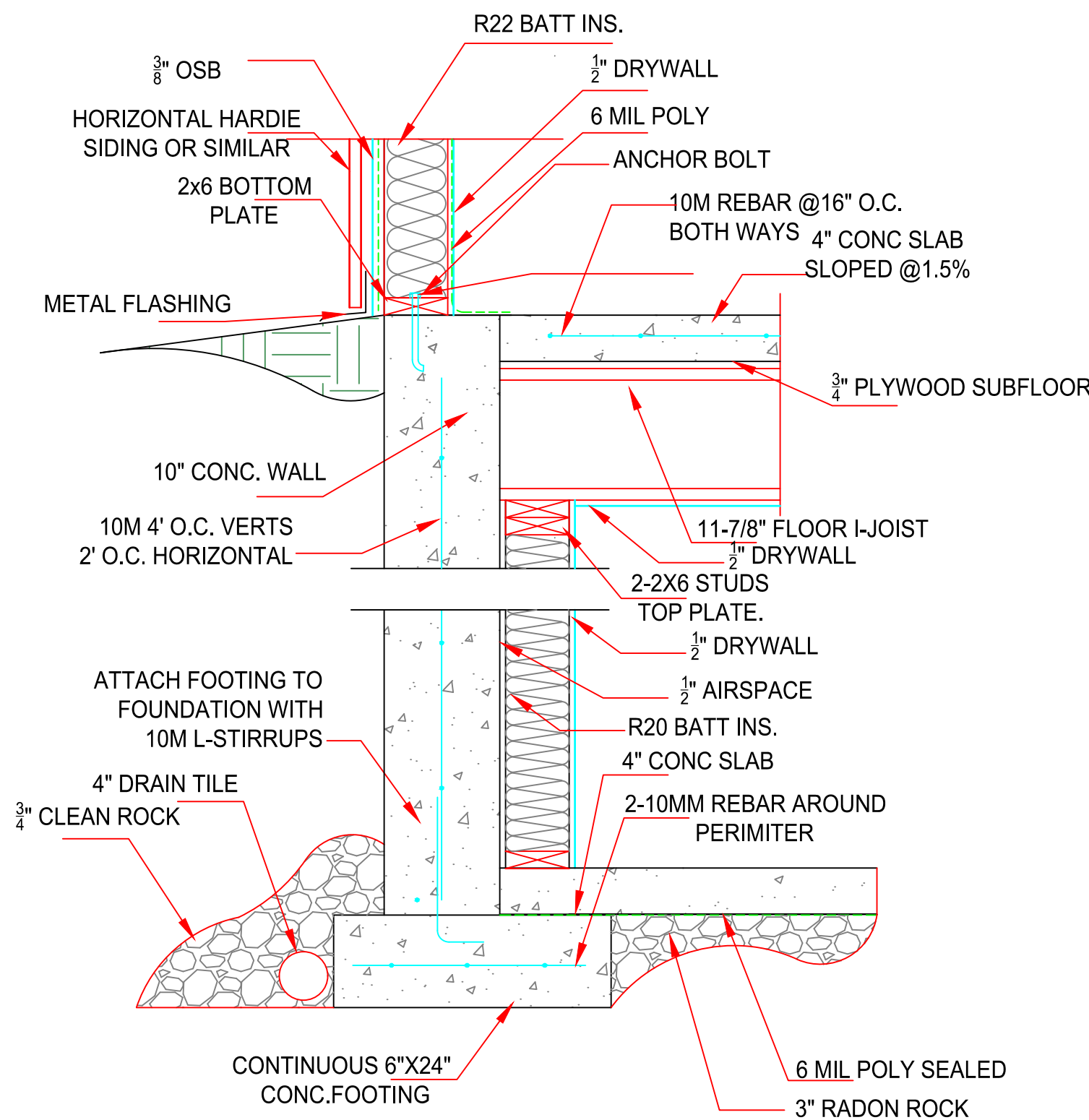
- 24" O/H Except where noted
- Rafter system to be engineered
- 1x6 T&G pine board soffits in deck roof areas
- Balance of house c/w vented aluminum soffit

Roof Plan



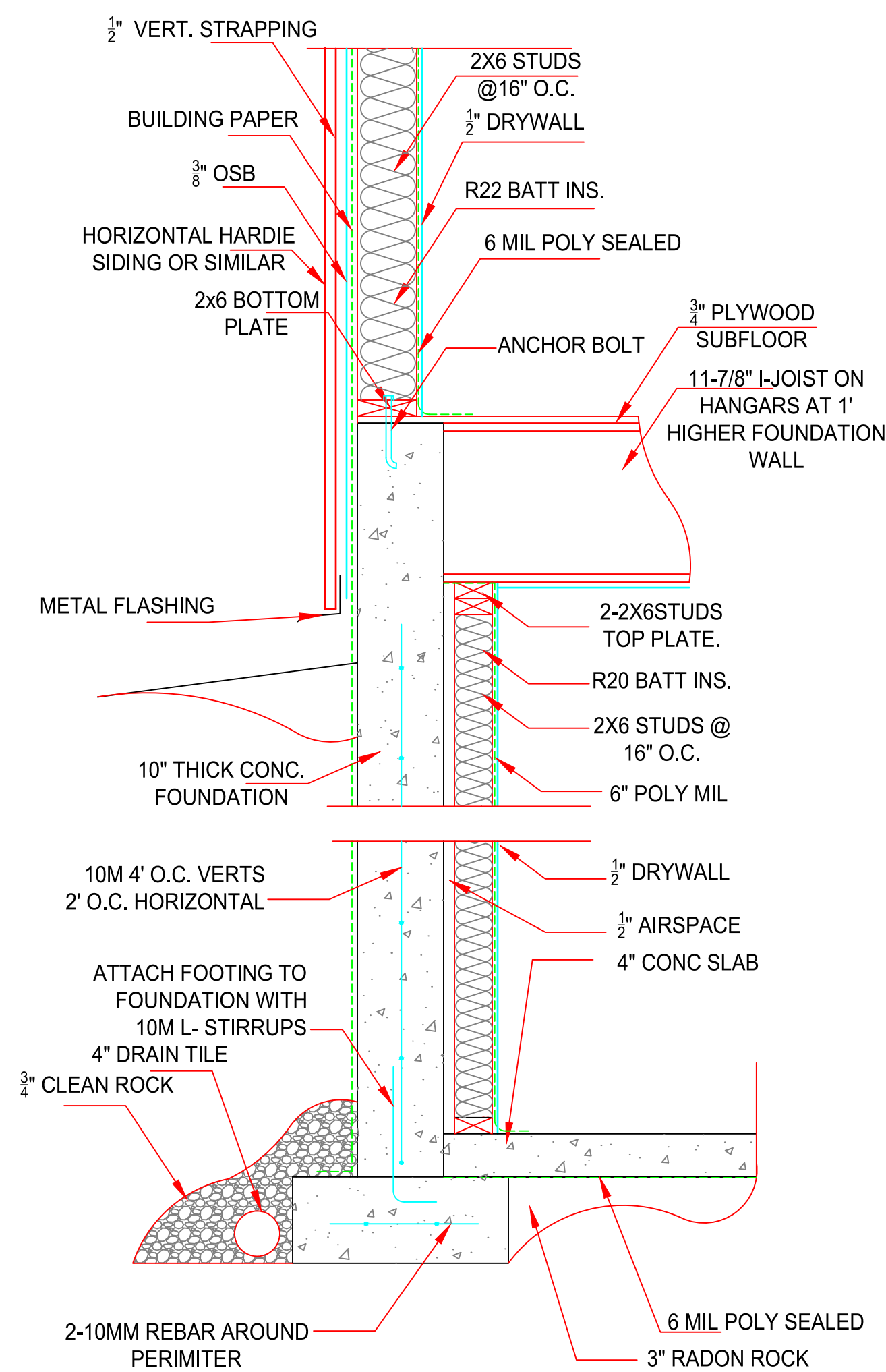
Roof Connection

Scale: 1" - 1'-0"



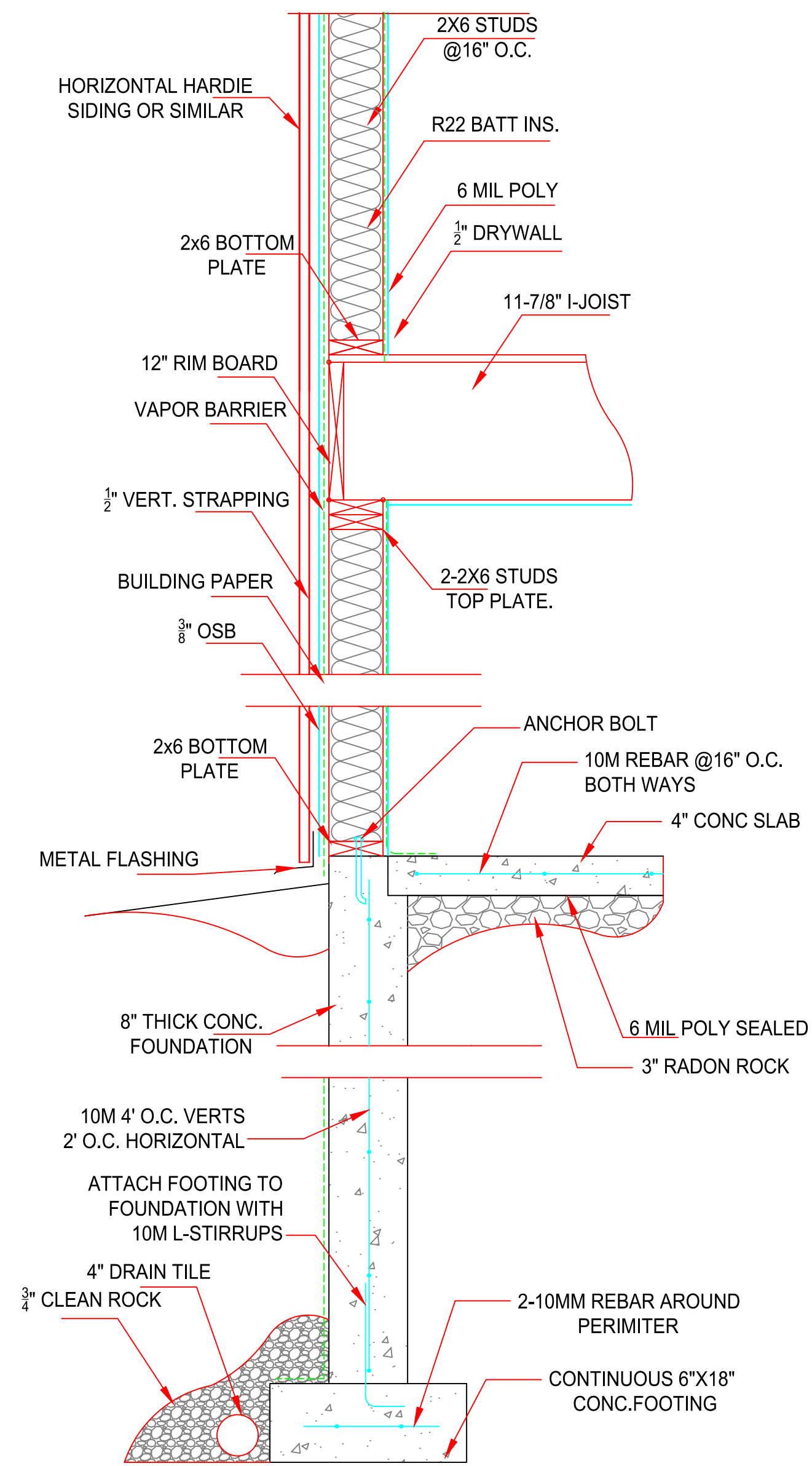
Garage/Suspended Slab

Scale: 1" - 1'-0"



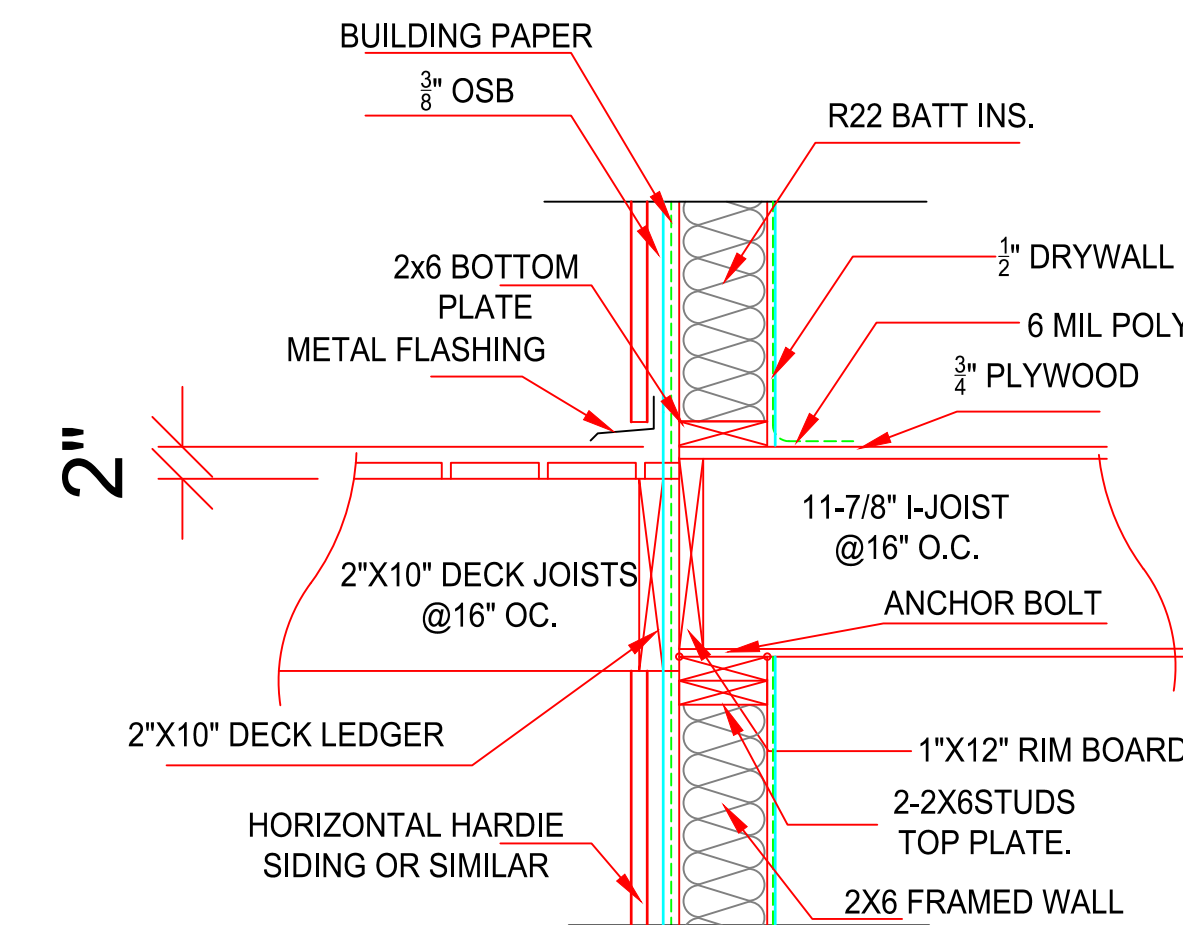
Grade Level @ 10" wall

Scale: 1" - 1'-0"



Walkout Level

Scale: 1" - 1'-0"



Deck Detail

Scale: 1" - 1'-0"

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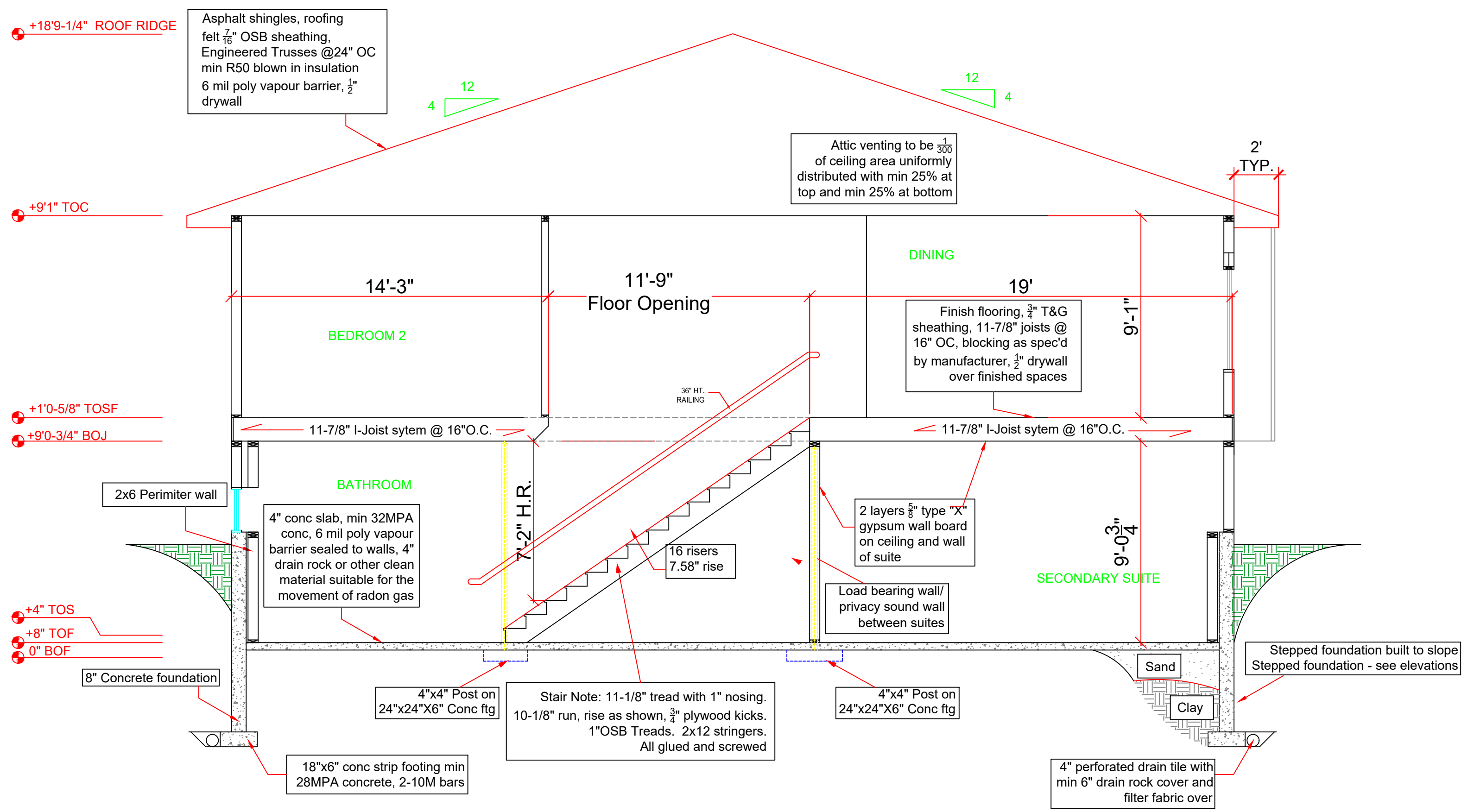
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REVISIONS		



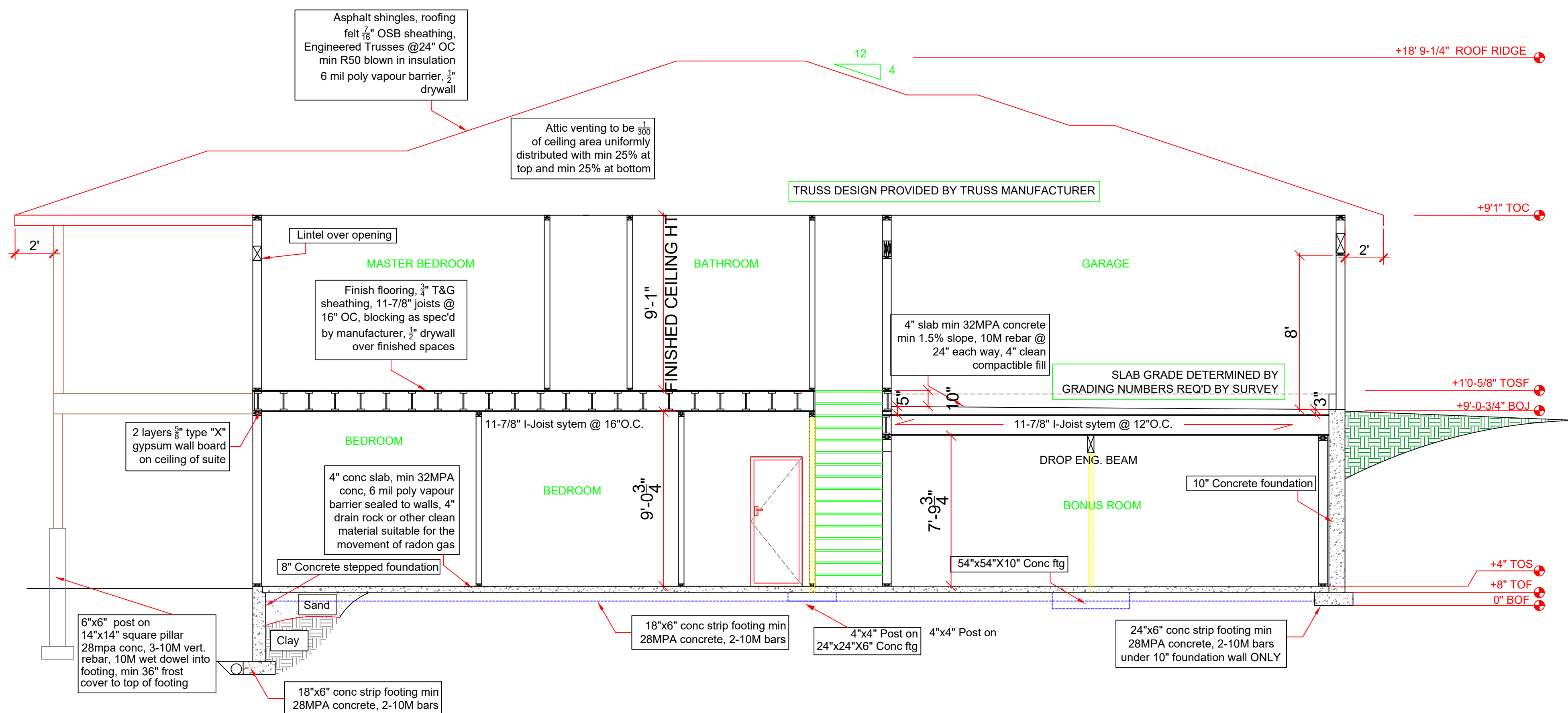
LEGAL DESCRIPTION
LOT 7, SEC 11, TP 20, R 10, W6M, W6M

PROJECT NO.
CUSTOMER
LOT 7 - FHE
SHEET TITLE
ROOF PLAN/ DETAILS

DATE
MAY 15/2020
SCALE
VARIES
DRAWN
PC
CHECKED
XX
SHEET NUMBER
A-8



CROSS SECTION - B



CROSS SECTION - A

WINDOW SCHEDULE						
MARK			SASH OPERATION	RO WIDTH	RO HEIGHT	COMMENTS
W	1	5050	SLIDER	5'0"	5'0"	
W	2	2660	SINGLE HUNG	2'6"	6'0"	
W	3	2660	SINGLE HUNG	2'6"	6'0"	
W	4	4070	PICTURE	4'0"	7'0"	
W	5	4070	PICTURE	4'0"	7'0"	
W	6	3046	SLIDER	3'0"	4'6"	
W	7	3046	PICTURE	3'0"	4'6"	
W	8	3050	SINGLE HUNG	3'0"	5'0"	
W	9	5020	PICTURE	5'0"	2'0"	
W	10	3050	SINGLE HUNG	3'0"	5'0"	
W	11	5050	SLIDER	5'0"	5'0"	
W	12	4050	SLIDER	4'0"	5'0"	
W	13	4030	SLIDER	4'0"	3'0"	
W	14	3020	PICTURE	3'0"	2'0"	
W	15	4040	SLIDER	4'0"	4'0"	
W	16	5040	SLIDER	5'0"	4'0"	
W	17	5040	SLIDER	5'0"	4'0"	
W	19	4040	SLIDER	4'0"	4'0"	
W	20	3046	SLIDER	3'0"	4'6"	
W	21	3070	PICTURE	3'0"	7'0"	

DOOR SCHEDULE							
MARK			DOOR OPERATION	RO WIDTH	RO HEIGHT	SIDE LITES	LOCATION
D	1	3068	SWING SIMPLE	3'2-3/8"	8'0"		MAIN ENTRY
D	2	3068	SWING SIMPLE	3'2-3/8"	8'0"		REAR ENTRY
D	3	3068	OVERHEAD DOOR	16'	8'0"		GARAGE
D	4	3068	SWING SIMPLE	3'2-3/8"	8'0"		GARAGE MAN DOOR
D	5	5068	SWING BI PART	5'0"	6'11"		DEN CLOSET
D	6	2868	SWING SIMPLE	2'8"	6'11"		DEN
D	7	2868	SWING SIMPLE	2'8"	6'11"		LAUNDRY
D	8	2668	SWING SIMPLE	2'6"	6'11"		BATHROOM
D	9	2868	SWING SIMPLE	2'8"	6'11"		BEDROOM 2
D	10	2868	SWING SIMPLE	2'8"	6'11"		BEDROOM 2 CLOSET
D	11	2868	SWING SIMPLE	2'8"	6'11"		MASTER
D	12	2868	SWING SIMPLE	2'8"	6'11"		W.I.C.
D	13	2868	SWING SIMPLE	2'8"	6'11"		ENSUITE
D	14	3068	SWING SIMPLE	3'2-3/8"	8'0"		BASEMENT ENTRY
D	15	3068	SWING SIMPLE	3'2-3/8"	8'0"		SUITE ENTRY
D	16	3068	SWING SIMPLE	3'2-3/8"	8'0"		BONUS ROOM BELOW GARAGE
D	17	2868	SWING SIMPLE	2'8"	6'11"		BASEMENT BATH
D	18	2868	SWING SIMPLE	2'8"	6'11"		MECH
D	19	2868	SWING SIMPLE	2'8"	6'11"		BASEMENT BED
D	20	5068	SWING SIMPLE	5'0"	6'11"		BED CLOSET
D	21	5068	SWING SIMPLE	5'0"	6'11"		BED CLOSET
D	22	2868	SWING SIMPLE	2'8"	6'11"		BASEMENT BED
D	23	2468	SWING SIMPLE	2'4"	6'11"		SUITE CLOSET
D	24	2868	SWING SIMPLE	2'8"	6'11"		SUITE LINEN
D	25	2868	SWING SIMPLE	2'8"	6'11"		SUITE BEDROOM
D	26	2868	SWING SIMPLE	2'8"	6'11"		SUITE CLOSET
D	27	2868	SWING SIMPLE	2'8"	6'11"		SUITE WIC
D	28	2868	SWING SIMPLE	2'8"	6'11"		LINEN CLOSET
D	29	2868	SWING SIMPLE	2'8"	6'11"		BASEMENT LINEN

NOTE: ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL CODES AND BYLAWS. DESIGN OF FOUNDATION AND FOOTINGS TO BE MODIFIED TO SUIT LOCAL SOIL CONDITIONS AS REQUIRED. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE. THIS DRAWING IS THE PROPERTY OF WOOD CREEK CONSTRUCTION AND MAY BE USED ONLY FOR THE PURPOSE FOR WHICH IT IS LOANED BY THE COMPANY.

NO.	DATE	DESCRIPTION
1	APR 2020	WIDENED HOUSE ON LIVING ROOM
		SIDE 1: WIDENED DEN BY 2', STAIRS
		MOVED RIGHT 2: KITCHEN WALL
		MOVED RIGHT 1: DECK SHIFTED OVER
		BY 1': STRIP FOOTINGS AND POINT
		LOADS/ BEAM LOCATION CHANGED
2	APR 23/20	MAIN AND LOWER FLOOR PLANS
		REVISED
3	APR 28/20	MAIN AND LOWER FLOOR PLANS
		REVISED
4	MAY 15/20	WINDOW LOCATIONS/SIZES
		LINEN CLOSETS
		SOAP CUBBIES FOR SHOWERS
		FRIDGE/FREEZER COVE



LEGAL DESCRIPTION
LOT 7, SEC 11, TP 20, R 10, W6M, W6M

PROJECT NO.
CUSTOMER
LOT 7 - FHE

SHEET TITLE
SECTIONS & WINDOW/DOOR SCHEDULES

DATE
MAY 15/2020
SCALE
3/16"=1'
DRAWN
PC
CHECKED
XX
SHEET NUMBER
A-9