

LOT COVERAGE:

LOT AREA: 10194 SQ FT.
 MAIN FLOOR AREA: 1794 SQ FT.
 DEV. BASEMENT FLOOR: 74SQ FT.
 (SECONDARY SUITE AREA - N/A)
 TOTAL FOOTPRINT AREA: 2690 SQ FT.
 RATIO: 26%
 ALLOWABLE: 45.0%

SITE PLAN
 LOT 8, SEC 11, TP 20, R 10, W6M, W6M
 _____, FOOTHILLS ESTATES
 (Civic Address)
THE _____ RESIDENCE

NOTE: GEOMATIC/SURVEY/GRADES REQ'D

SITE PLAN

SHEET LEGEND
 A1 - SITE PLAN & NOTES
 A2 - ELEVATIONS
 A3 - MAIN FLOOR PLAN
 A4 - BASEMENT PLAN
 A5 - FOUNDATION PLAN
 A6 - ROOF & DETAILS
 A7 - SECTIONS & WINDOW/DOOR SCHEDULES

GENERAL NOTES

- ALL CONSTRUCTION MATERIALS & WORKMANSHIP TO BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE B.C. BUILDING CODE PLUMBING CODE, ELECTRICAL CODE, AND ALL OTHER CODES, ZONING, AND BYLAWS THAT MAY APPLY.
- THE CONTRACTOR AND ALL SUB-TRADES ARE RESPONSIBLE FOR THE REVIEW OF ALL DRAWINGS AND SITE CONDITIONS PRIOR TO COMMENCING WORK OR ORDERING ANY MATERIAL, AND SHALL REPORT AND DISCREPANCIES THAT AFFECT DESIGN TO WOOD CREEK IMMEDIATELY
- ALL FRAMING MATERIAL TO BE S.P.F. #2 OR BETTER WITH THE EXCEPTION OF WALL STUDS
- CONCRETE FOOTINGS AND WALLS TO BE A MINIMUM 28MPA @28 DAYS. FLOOR SLABS AND SIDEWALKS TO BE MINIMUM 32MPA @ 28 DAYS.
- ALL CONCRETE FOOTINGS TO BE PLACED ON ORIGINAL UNDISTURBED GROUND, FREE OF ALL ORGANIC, FROZEN OR FROSTY MATERIAL.
- DAMP PROOF FOUNDATION WALLS BELOW GRADE WITH 2 COATS OF BITUMINOUS MATERIAL.
- 6 MIL. ULTRAVIOLET RESISTANT POLY VAPOUR BARRIER ON A.) 4" OF GRANULAR COMPACTABLE FILL UNDER EXTERIOR OR GARAGE SLABS. OR B.) 4" OF 3/8" DRAIN ROCK OR OTHER MATERIAL SUITABLE FOR MOVEMENT OF RADON GAS UNDER INTERIOR SLABS.
- ALL FOUNDATION DRAINS TO BE 4" PERFORATED P.V.C. WITH FILTER CLOTH AND MINIMUM 6" DRAIN ROCK, DRAINED TO MUNICIPAL SERVICES ACCORDING TO LOCAL STANDARDS.
- GRADE TO BE SLOPED AWAY FROM BUILDING AT ALL LOCATIONS ADJACENT TO BUILDING.
- ALL TRUSSES I-JOISTS, BEAMS OR OTHER STRUCTURAL MEMBERS NOT COVERED IN B.C. BUILDING CODE TO BE DESIGNED AND ENGINEERED BY TRUSS MANUFACTURER OR STRUCTURAL ENGINEER PRIOR TO ANY FABRICATION.
- CONTRACTOR TO VERIFY ALL PROPERTY AND FOUNDATION LINES WITH A LEGAL LAND SURVEYOR PRIOR TO PLACING FOOTINGS OR RUNNING SERVICES WITHIN BUILDING ENVELOPE.
- ALL ROOF SPACES TO BE VENTILATED WITH SOFFIT AND ROOF VENTS WITH A MINIMUM DISTRIBUTION AREA OF 1/300. A MINIMUM OF 25% OF VENTS TO BE LOCATED AT ROOF. MINIMUM 25% TO BE LOCATED AT SOFFIT.
- DOOR FRAMES AT ENTRANCES AND EXTERIOR SPACES TO DWELLING UNITS SHALL BE SOLIDLY BLOCKED BETWEEN DOOR FRAME AND STUDS AT THE HEIGHT OF THE DEADBOLT TO RESIST SPREADING.
- ALL GLASS IN DOORS, SIDELITES OR WINDOWS WITHIN 12" OF FINISHED FLOOR TO BE CONSTRUCTED OF SAFETY GLASS.
- RAIN WATER LEADERS NOT SHOWN ON PLAN. CONTRACTOR TO DETERMINE EXACT LOCATION SUITABLE TO SITE AND MUNICIPAL DRAINAGE.
- ELECTRICAL LOCATIONS TO BE DETERMINED BY ELECTRICAL CONTRACTOR WITH THE APPROVAL OF THE HOME OWNER OR GENERAL CONTRACTOR AND IN ACCORDANCE WITH CURRENT ELECTRICAL CODE.
- APPROVED SMOKE ALARMS TO BE INSTALLED WITH LOCATION APPROVED BY APPROPRIATE LOCAL MUNICIPALITY.
- REFER TO LAOUTS AND SPECIFICATIONS FROM STRUCTURAL ENGINEER, FLOOR JOIST SUPPLIER, AND ROOF TRUSS MANUFACTURER FOR BEAM, POST, FOOTING LOCATIONS AND SIZES. ENSURE PROPER BEARING IS PROVIDED FOR ALL POINT LOADS. ANY STRUCTURAL SPECIFICATIONS SHOWN ON WOOD CREEK PLANS ARE ESTIMATES ONLY AND MAY NOT ACCURATELY REPRESENT LOADING AND SIZING. OR MAY NOT INCLUDE POINT LOADS OR STRUCTURAL MEMBERS DESIGNED BY OTHERS.

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 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE. THIS DRAWING IS THE PROPERTY OF WOOD CREEK CONSTRUCTION AND MAY BE USED ONLY FOR THE PURPOSE FOR WHICH IT IS LOANED BY THE COMPANY

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| 2 | MAY 21/20 | 10" FOUNDATION WALL AT HOUSE FRONT, INCREASE FOOTING SIZE |
| 3 | MAY 22/20 | STRIP FOOTING UNDER BASEMENT BATHROOM WALL |
| 4 | JUNE 9/20 | NON SUITE OPTION IN BASEMENT |
| 5 | JUNE 10/20 | HOUSE ROTATED ON SITE |
| 6 | JUNE 24/20 | BASEMENT LAYOUT REVISED |
| 7 | JULY 30/20 | ENSUITE TUB/FRAMED TUB BASE WINDOW CHANGES |

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|-----|------|-------------|

REVISIONS



LEGAL DESCRIPTION

Lot 3 Plan EPP95462 Section 11 Township 20 Range 10 Meridian Land District 25

#20 - 15 Ave SE, Salmon Arm, B.C. V1E 0G3

CIVIC ADDRESS

PROJECT NO.

CUSTOMER HOUSE 8 - Foothill Estates

SHEET TITLE
SITE PLAN & GENERAL NOTES

| | | | |
|---------|---------------|--------------|------------|
| DATE | JULY 30, 2020 | SHEET NUMBER | A-1 |
| SCALE | 3/32"=1' | | |
| DRAWN | PC | | |
| CHECKED | XX | | |
| | | | |

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Wood Creek Construction Ltd.
 -Building with Confidence-

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PROJECT NO.

CUSTOMER
 HOUSE 8 - Foothill Estates

SHEET TITLE

ELEVATIONS

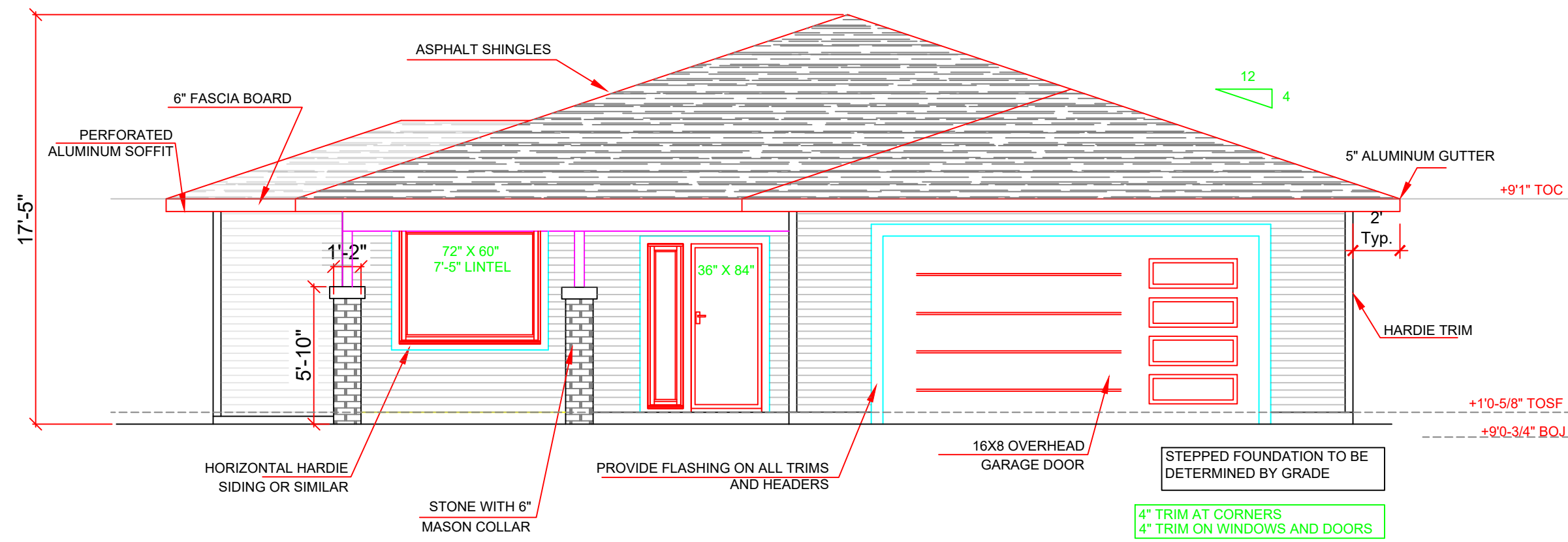
DATE
 JULY 30, 2020

SCALE
 3/16"=1'

DRAWN
 PC

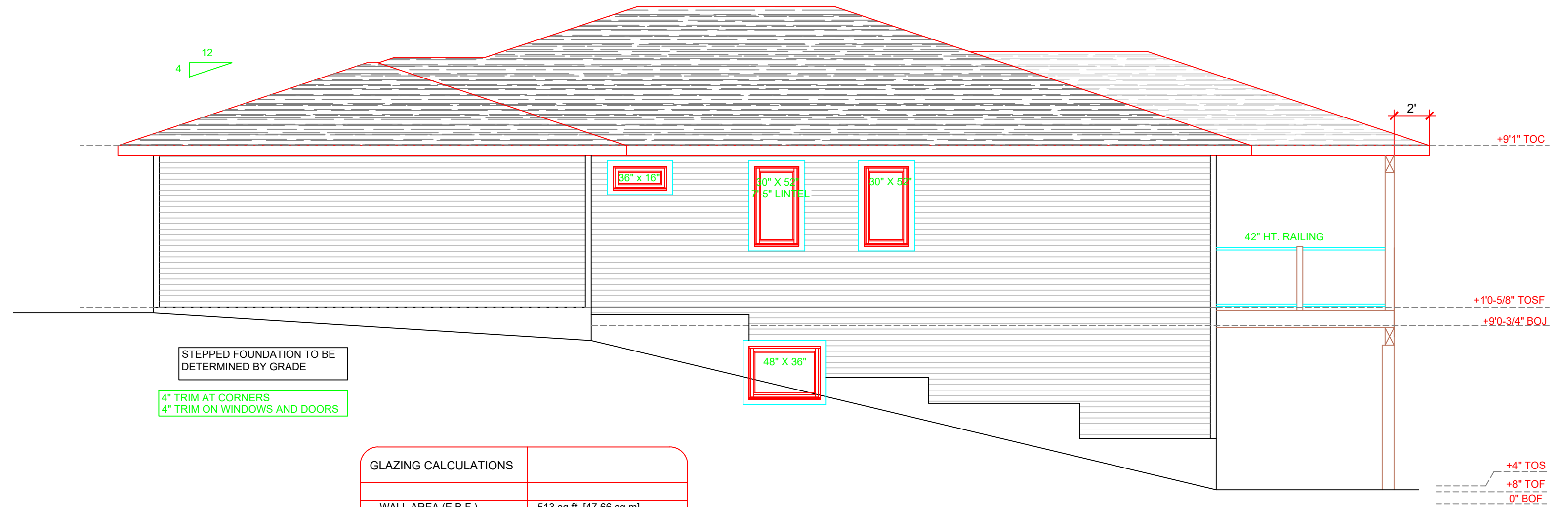
CHECKED
 XX

SHEET NUMBER
A-2



| GLAZING CALCULATIONS | |
|----------------------|-----------------------------|
| WALL AREA (E.B.F.) | 388 sq ft [34.7 sq m] |
| WINDOW AREA | 54 sq ft [6.03 sq m] |
| RATIO | 14% |
| ALLOWABLE | 100% |
| LIMITING DISTANCE | 25'± (7.6M) [PROPERTY LINE] |

FRONT ELEVATION



| GLAZING CALCULATIONS | |
|----------------------|--------------------------|
| WALL AREA (E.B.F.) | 513 sq ft [47.66 sq m] |
| WINDOW AREA | 52 sq ft [4.83 sq m] |
| RATIO | 10% |
| ALLOWABLE | 100% |
| LIMITING DISTANCE | 17' [5.2M PROPERTY LINE] |

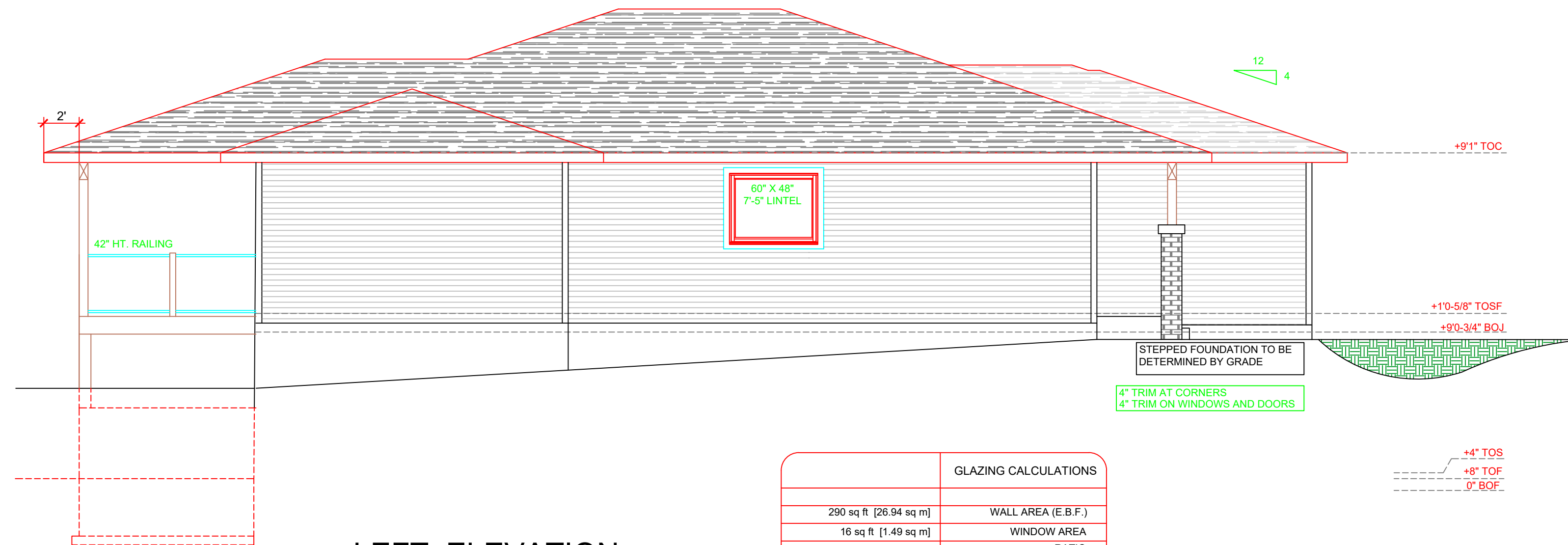
RIGHT ELEVATION

CONSTRUCTION OPTIONS
 NO H.R.V. INSTALLED
 NO SPRINKLER SYSTEM
 CONC. FOUNDATION &
 FRAMED WALLS



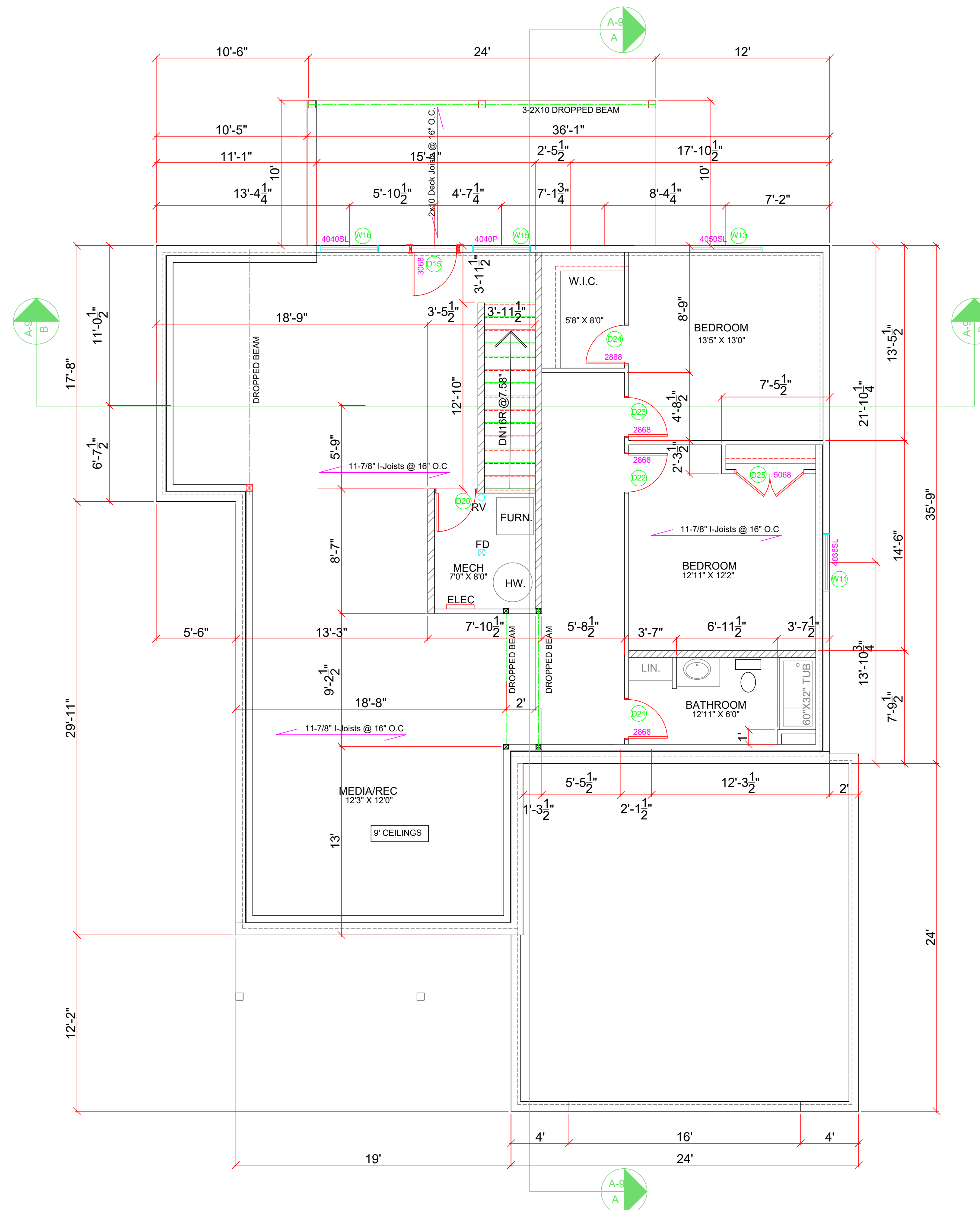
| GLAZING CALCULATIONS | |
|----------------------|------------------------|
| WALL AREA (E.B.F.) | 784 sq ft [72.83 sq m] |
| WINDOW AREA | 216 sq ft [20.06 sq m] |
| RATIO | 27.5 |
| ALLOWABLE | 100% |
| LIMITING DISTANCE | 13.08M [PROPERTY LINE] |

REAR ELEVATION



| GLAZING CALCULATIONS | |
|-------------------------------|--------------------|
| 290 sq ft [26.94 sq m] | WALL AREA (E.B.F.) |
| 16 sq ft [1.49 sq m] | WINDOW AREA |
| 5% | RATIO |
| 88% | ALLOWABLE |
| 16'10" (5.2M) [PROPERTY LINE] | LIMITING DISTANCE |

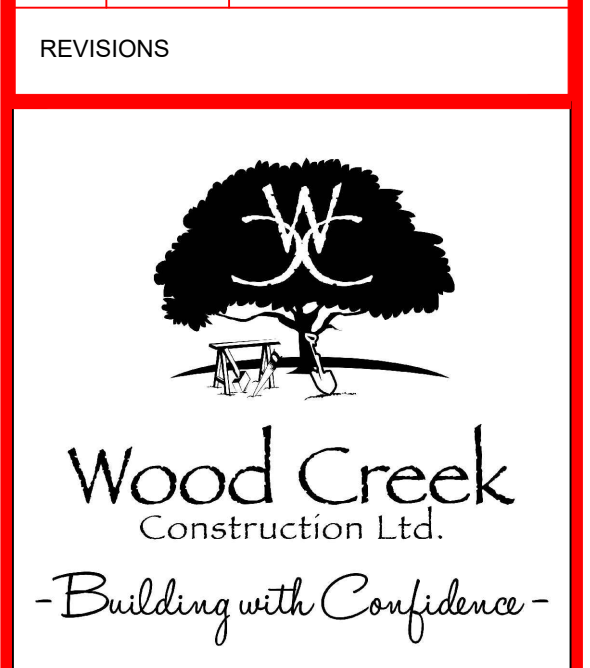
LEFT ELEVATION



- FLOOR NOTES**
- FRAMED EXTERIOR WALLS DOES NOT INCLUDE EXTERIOR SHEATHING.
 - ALL DIMENSIONS SHOWN ARE TO FRAMING AND DO NOT INCLUDE DRYWALL OR OTHER FINISHES
 3. ALL HEADERS TO BE 3-2X10 IN 2X6 WALLS AND 2-2X10 IN 2X4 WALLS UNLESS NOTED OTHERWISE
 - ALL DOORS AND WINDOWS FRAMED 4-1/2" FROM ADJACENT WALLS UNLESS NOTED OTHERWISE
 - ALL DOOR SLABS TRO MEASURE 80" IN HEIGHT UNLESS OTHERWISE NOTED
 - INDIVIDUAL ROOM AREAS ARE CALCULATED FROM INSIDE OF FRAMING WHEREAS THE OVERALL FLOOR AREA IS CALCULATED TO OUTSIDE EXTERIOR WALLS

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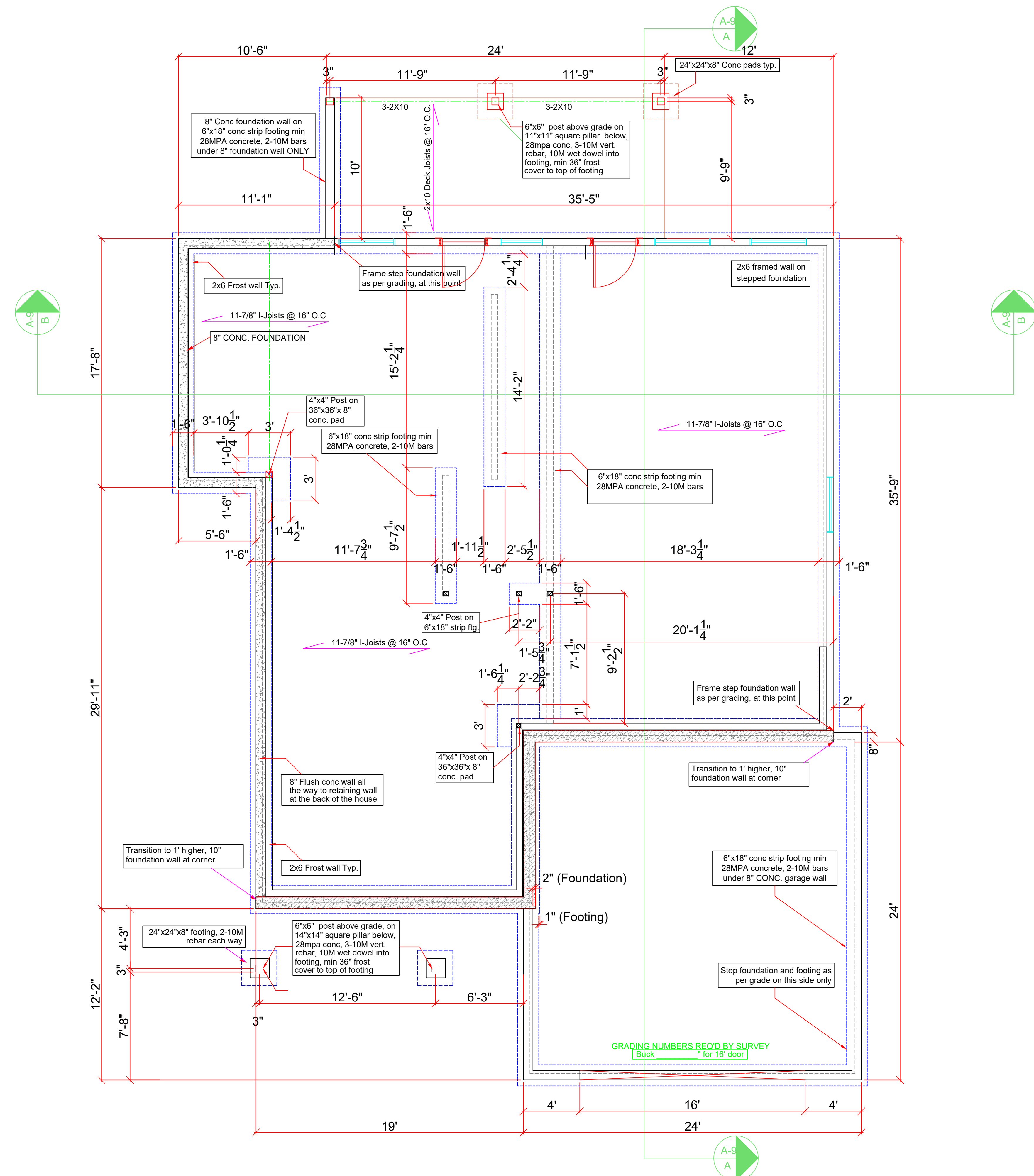
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| | | WINDOW CHANGES |



LEGAL DESCRIPTION
 LOT 8, SEC 11, TP 20, R 10, W6M, W6M

PROJECT NO.
 CUSTOMER
LOT 8 - FHE
 SHEET TITLE
DEVELOPED BASEMENT PLAN

| | | | |
|---------|---------------|--------------|-----|
| DATE | JULY 30, 2020 | SHEET NUMBER | A-4 |
| SCALE | 1/4"=1' | | |
| DRAWN | PC | | |
| CHECKED | XX | | |



WINDOW/DOOR LEGEND

- PICTURE - P
- AWNING - A
- HORIZONTAL SLIDER - SL
- SINGLE HUNG - SH

- SAFE & SOUND INSULATION
- PLUMB WALL
- LOAD BEARING WALL
- 1' HIGHER FOUNDATION

FLOOR NOTES

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FLOOR JOIST NOTE

Joists to sit on 2x6 perimeter wall when foundation wall is 1' higher. Strip footing to transition to 6"x24"

FOOTING NOTE #1

6"x24" conc strip footing min 28MPA concrete, 2-10M bars around 10" foundation wall

FOOTING NOTE #2

6"x18" conc strip footing min 28MPA concrete, 2-10M bars around 8" foundation wall

SLAB NOTE:

4" conc slab, min 32MPA conc, 6 mil poly vapour barrier sealed to walls, 4" drain rock or other clean material suitable for the movement of radon gas in mech room only

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REVISIONS

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-Building with Confidence-

LEGAL DESCRIPTION

Lot 3 Plan EPP95462 Section 11 Township 20 Range 10 Meridian Land District 25

#20 - 15 Ave SE, Salmon Arm, B.C. V1E 0G3

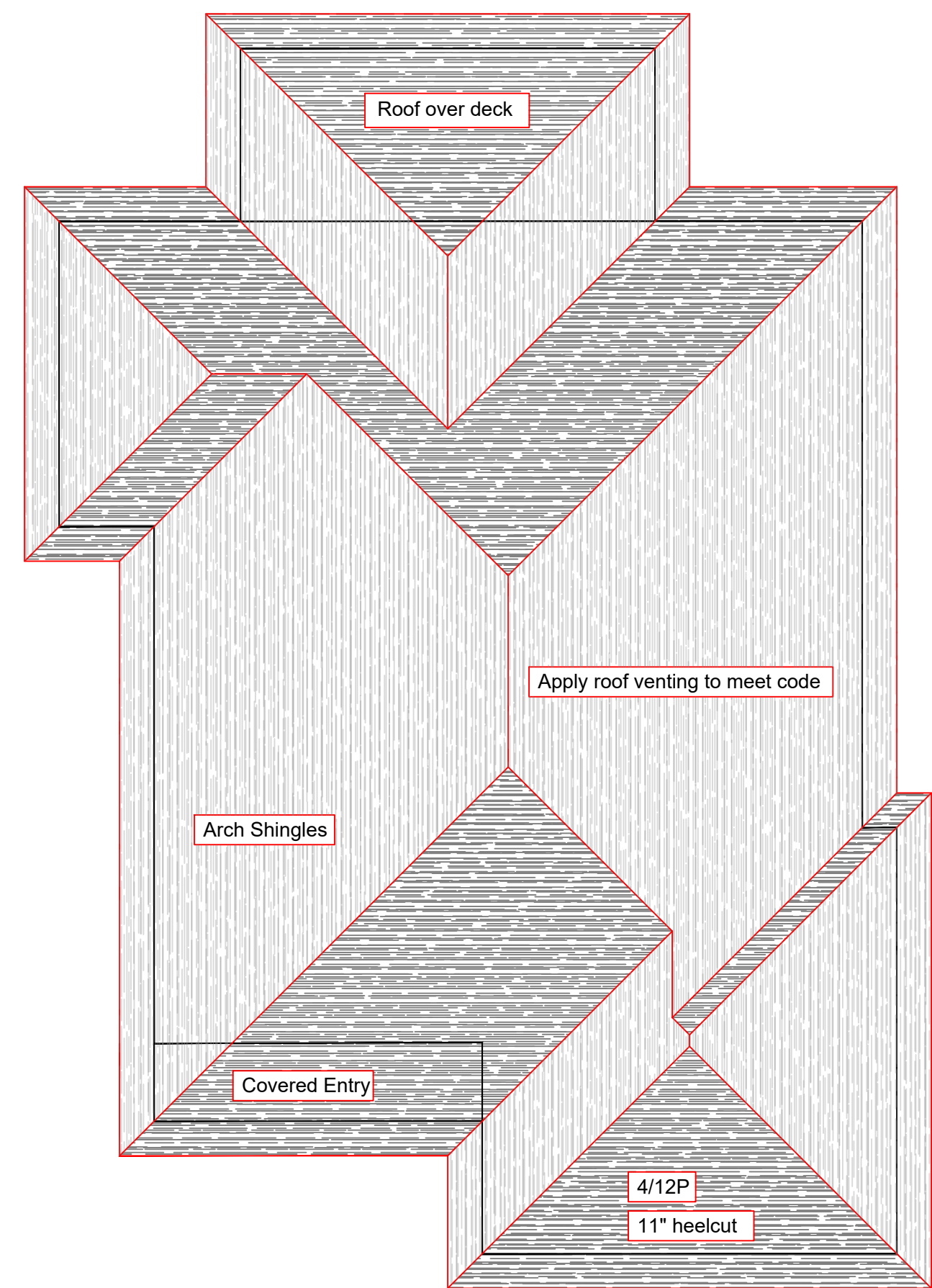
CIVIC ADDRESS

PROJECT NO.

CUSTOMER
HOUSE 8 - Foothill Estates

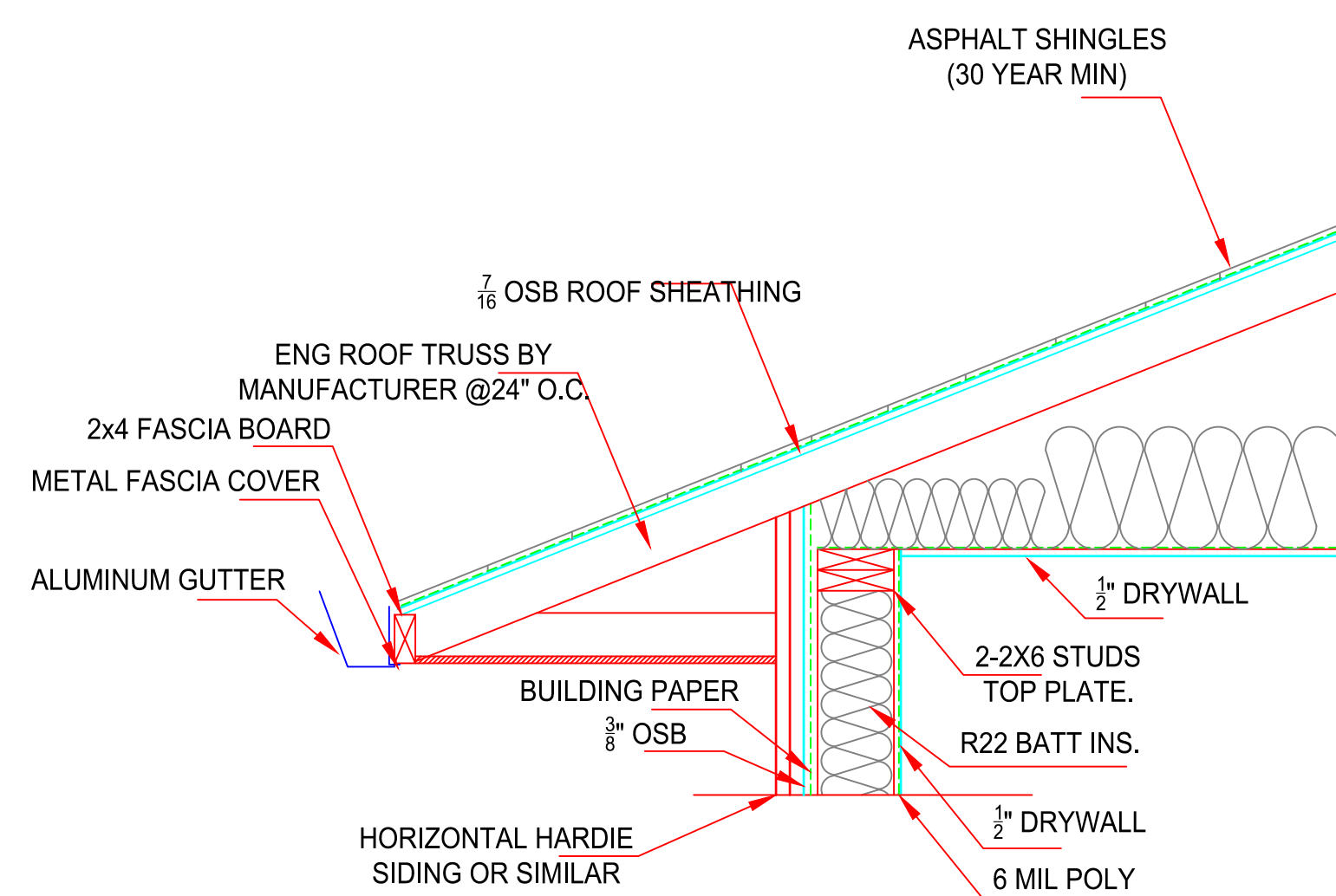
SHEET TITLE
FOUNDATION PLAN

| | |
|-----------------------|----------------------------|
| DATE JULY 30, 2020 | SHEET NUMBER A-5 |
| SCALE 1/4"=1'-0" | |
| DRAWN PC | |
| CHECKED XX | |



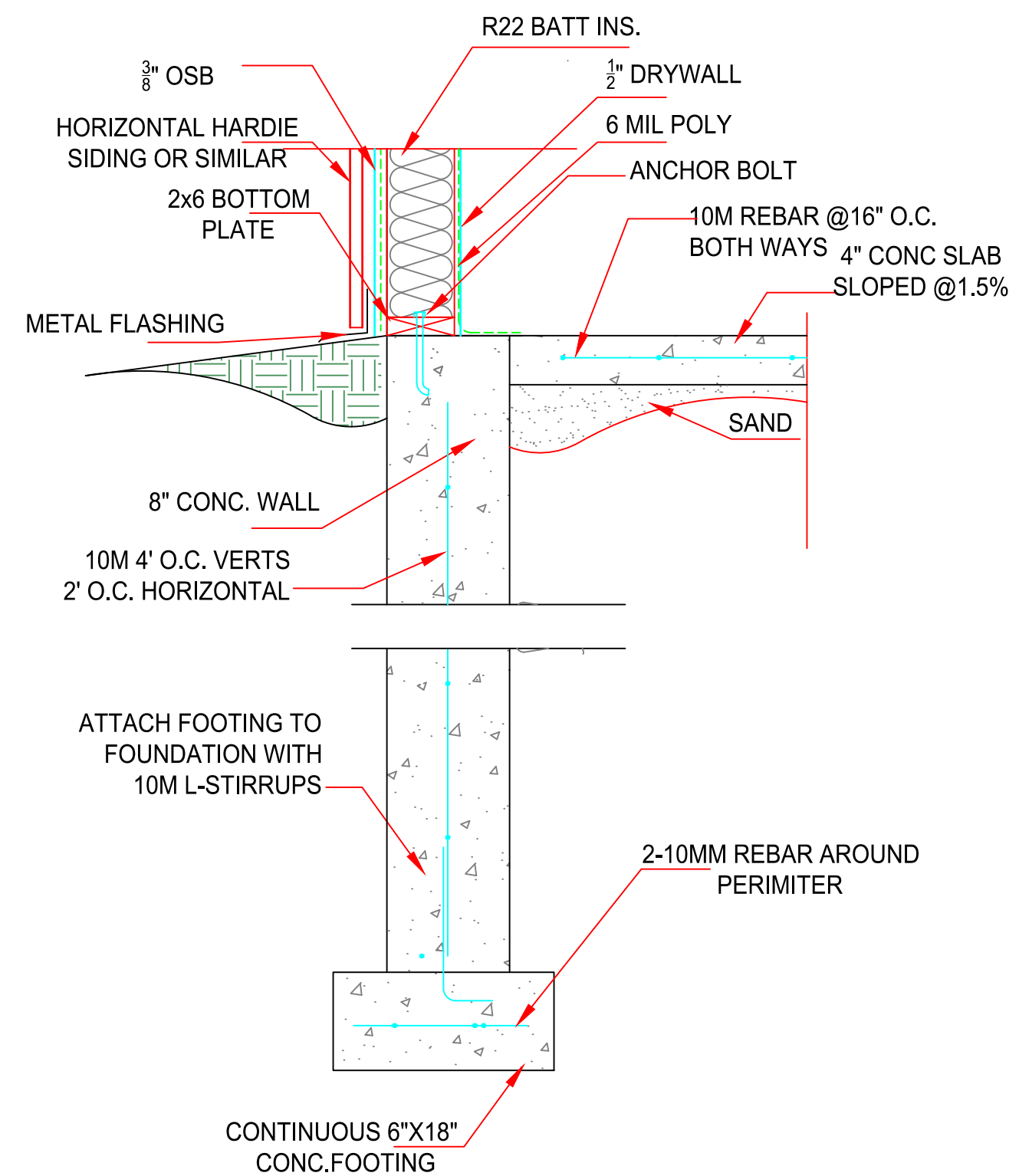
- 24" O/H Except where noted
- Rafter system to be engineered
- 1x6 T&G pine board soffits in deck roof areas
- Balance of house c/w vented aluminum soffit

Roof Plan

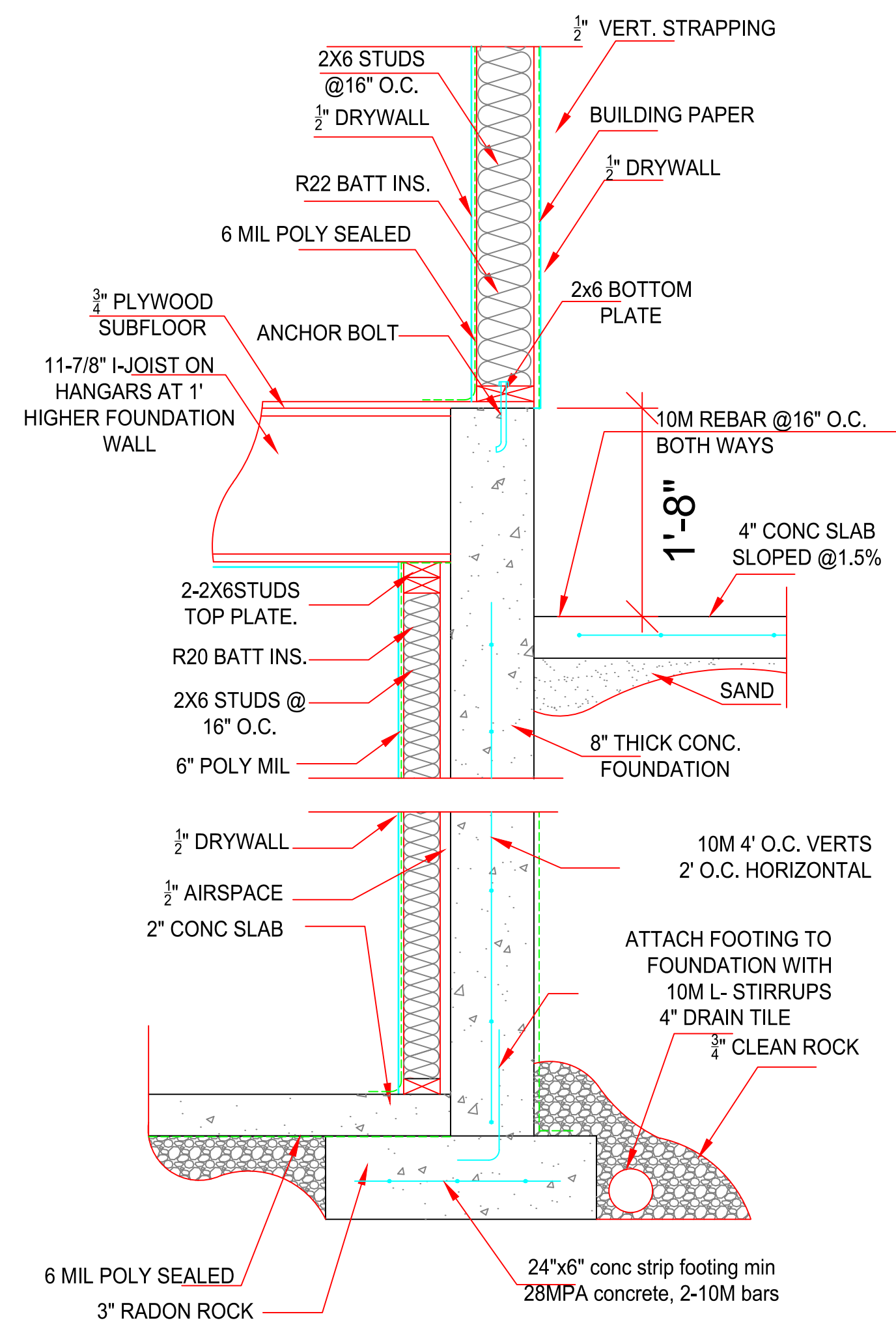


Roof Connection

Scale: 1" - 1'-0"

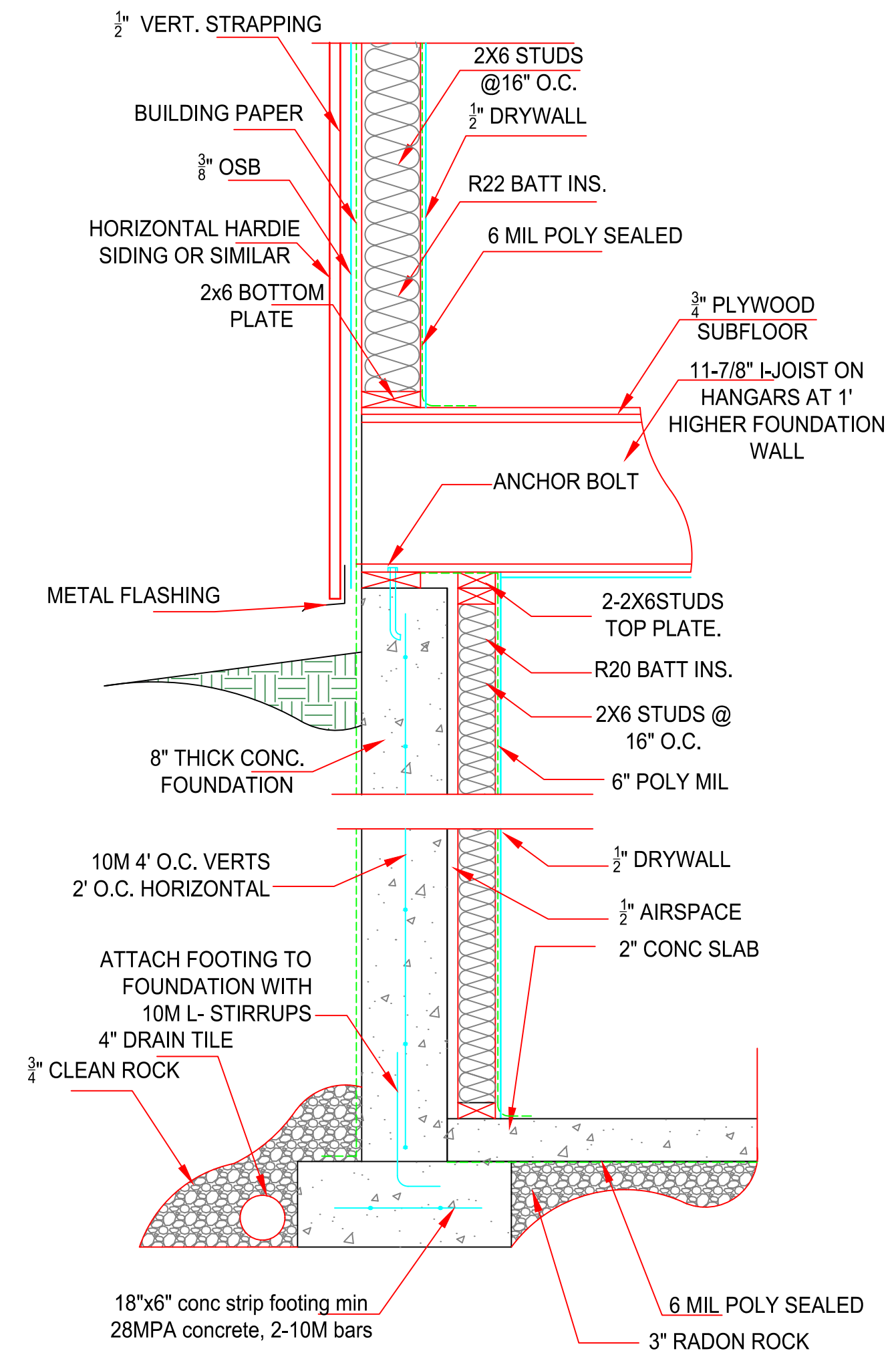


Garage/Suspended Slab Scale: 1" - 1'-0"

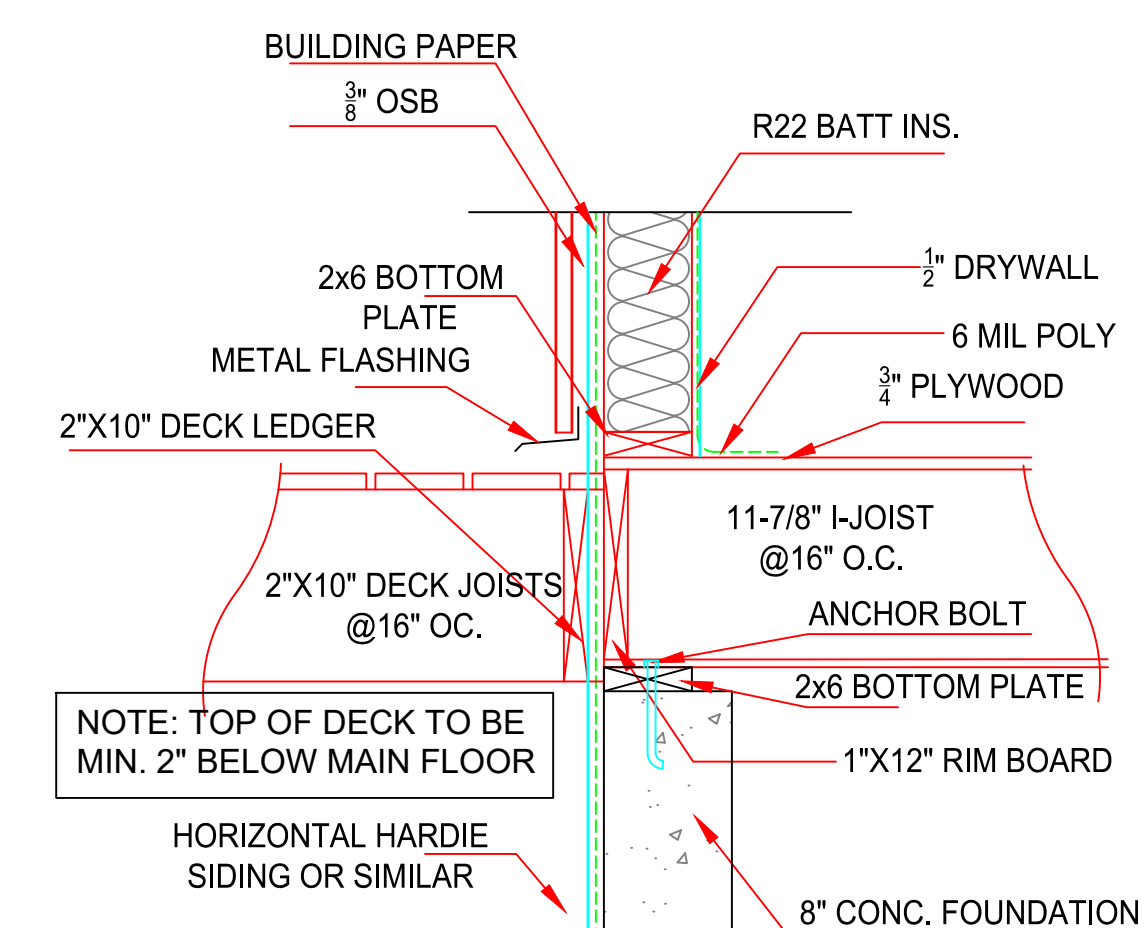


Hung Floor joists

Scale: 1" - 1'-0"



Floor Joists on Foundation Scale: 1" - 1'-0"



Deck Detail

Scale: 1" - 1'-0"

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CIVIC ADDRESS

PROJECT NO.

CUSTOMER

HOUSE 8 - Foothill Estates

SHEET TITLE

ROOF PLAN/ DETAILS

DATE

JULY 30, 2020

SCALE

VARIABLES

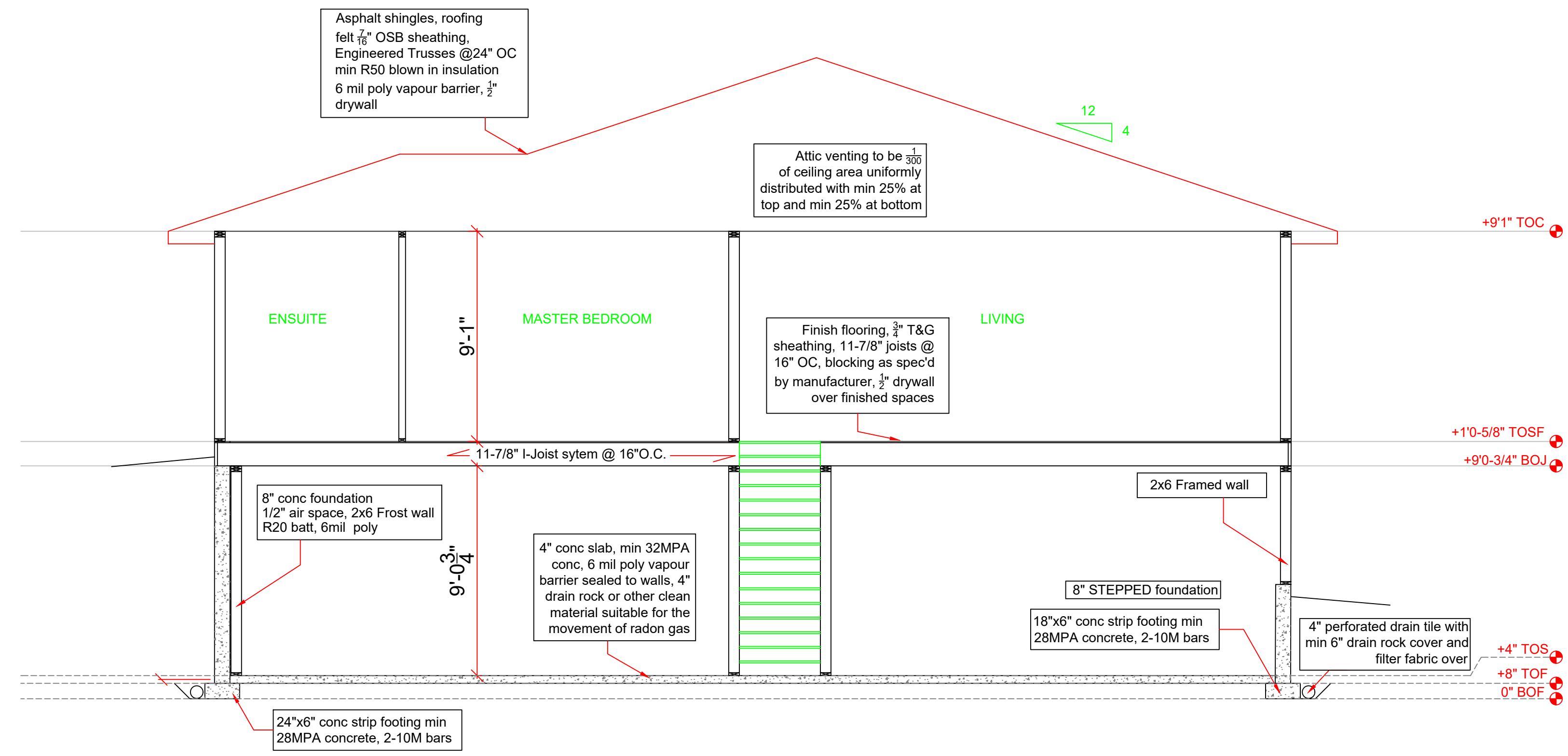
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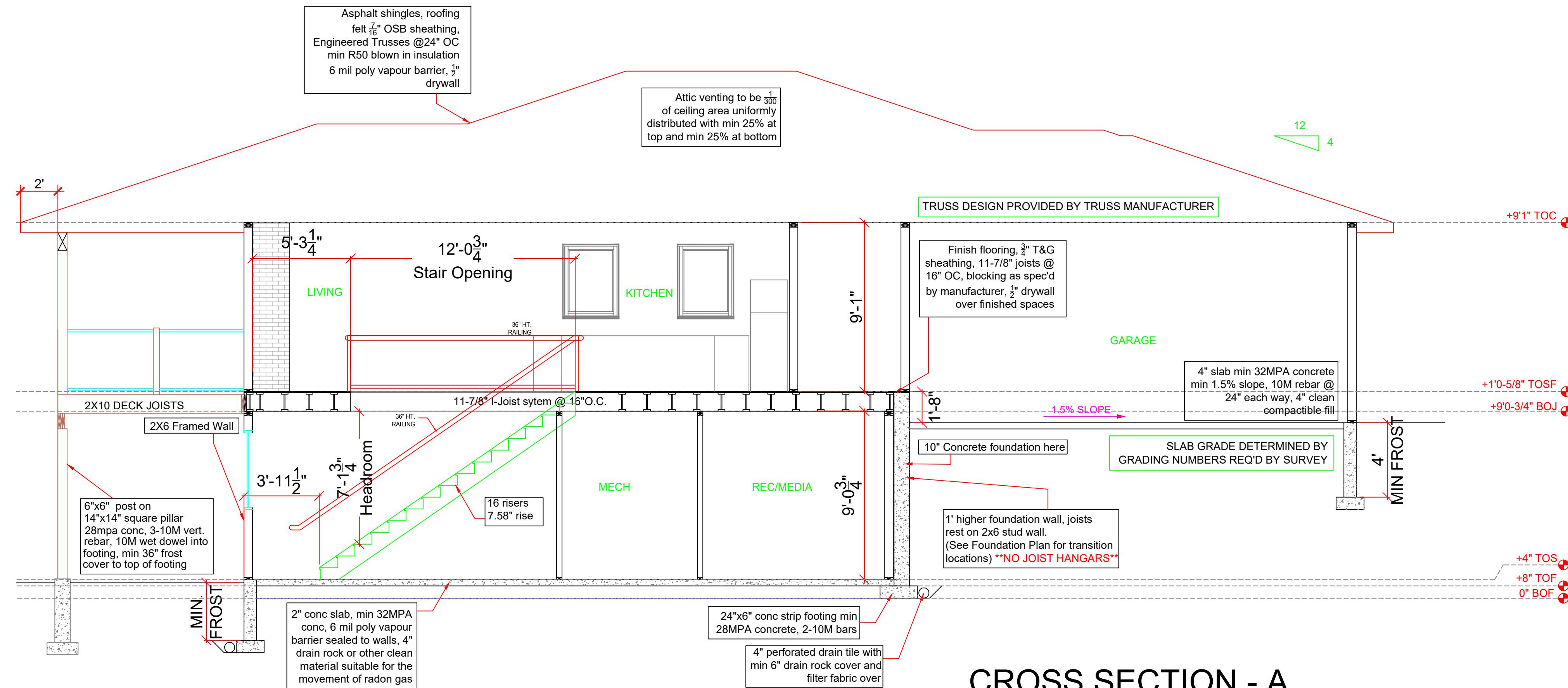
CHECKED

XX

A-6



CROSS SECTION - B



CROSS SECTION - A

WINDOW SCHEDULE

| MARK | | | SASH OPERATION | RO WIDTH | RO HEIGHT | COMMENTS |
|------|----|------|----------------|----------|-----------|----------|
| W | 1 | 5050 | SLIDER | 6'0" | 5'0" | |
| W | 2 | 5040 | SLIDER | 5'0" | 4'0" | |
| W | 3 | 4050 | SLIDER | 4'0" | 5'0" | |
| W | 4 | 6060 | SLIDER | 6'0" | 6'0" | |
| W | 5 | 4060 | SLIDER | 4'0" | 6'0" | |
| W | 6 | 4060 | SLIDER | 4'0" | 6'0" | |
| W | 7 | 6060 | PICTURE | 6'0" | 6'0" | |
| W | 8 | 2646 | SLIDER | 2'6" | 4'6" | |
| W | 9 | 2646 | SLIDER | 2'6" | 4'6" | |
| W | 10 | 1670 | SIDELITE | 1'6" | 7'0" | |
| W | 11 | 4036 | SLIDER | 4'0" | 3'6" | |
| W | 13 | 4050 | SLIDER | 4'0" | 5'0" | |
| W | 14 | 3014 | SLIDER | 3'0" | 1'4" | |
| W | 15 | 4040 | PICTURE | 4'0" | 4'0" | |
| W | 16 | 4040 | SLIDER | 4'0" | 4'0" | |

DOOR SCHEDULE

| MARK | | | DOOR OPERATION | RO WIDTH | RO HEIGHT | SIDE LITES | LOCATION |
|------|----|------|----------------|----------|-----------|------------|---------------------|
| D | 1 | 3068 | SWING SIMPLE | 3'2-3/8" | 8'0" | | MAIN ENTRY |
| D | 2 | 3068 | SWING SIMPLE | 3'2-3/8" | 8'0" | | REAR ENTRY |
| D | 3 | 3068 | OVERHEAD DOOR | 16' | 8'0" | | GARAGE |
| D | 4 | 3068 | SWING SIMPLE | 3'2-3/8" | 8'0" | | GARAGE MAN DOOR |
| D | 5 | 2868 | SWING SIMPLE | 2'8" | 6'11" | | BEDROOM 3 CLOSET |
| D | 6 | 2868 | SWING SIMPLE | 2'8" | 6'11" | | ENTRY CLOSET |
| D | 7 | 2868 | SWING SIMPLE | 2'8" | 6'11" | | BEDROOM 3 |
| D | 8 | 2868 | SWING SIMPLE | 2'8" | 6'11" | | BEDROOM 2 |
| D | 9 | 2868 | SWING SIMPLE | 2'8" | 6'11" | | MUDROOM |
| D | 10 | 5068 | SWING BI PART | 5'0" | 6'11" | | BEDROOM 2 |
| D | 11 | 2868 | SWING SIMPLE | 2'8" | 6'11" | | BATHROOM |
| D | 12 | 2868 | SWING SIMPLE | 2'8" | 6'11" | | MASTER BEDROOM |
| D | 13 | 2868 | SWING SIMPLE | 2'8" | 6'11" | | W.I.C. |
| D | 14 | 2868 | SWING SIMPLE | 2'8" | 6'11" | | ENSUITE |
| D | 15 | 3068 | SWING SIMPLE | 3'2-3/8" | 6'11" | | BASEMENT ENTRY |
| D | 16 | 3068 | SWING SIMPLE | 3'2-3/8" | 6'11" | | SUITE ENTRY |
| D | 20 | 2868 | SWING SIMPLE | 2'8" | 6'11" | | MECH |
| D | 21 | 2868 | SWING SIMPLE | 2'8" | 6'11" | | BASEMENT BATH |
| D | 22 | 2868 | SWING SIMPLE | 2'8" | 6'11" | | BASEMENT BED |
| D | 23 | 2868 | SWING SIMPLE | 2'8" | 6'11" | | BASEMENT BED |
| D | 24 | 2868 | SWING SIMPLE | 2'8" | 6'11" | | BASEMENT W.I.C. |
| D | 25 | 2868 | SWING SIMPLE | 2'8" | 6'11" | | BASEMENT BED CLOSET |

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A-7