

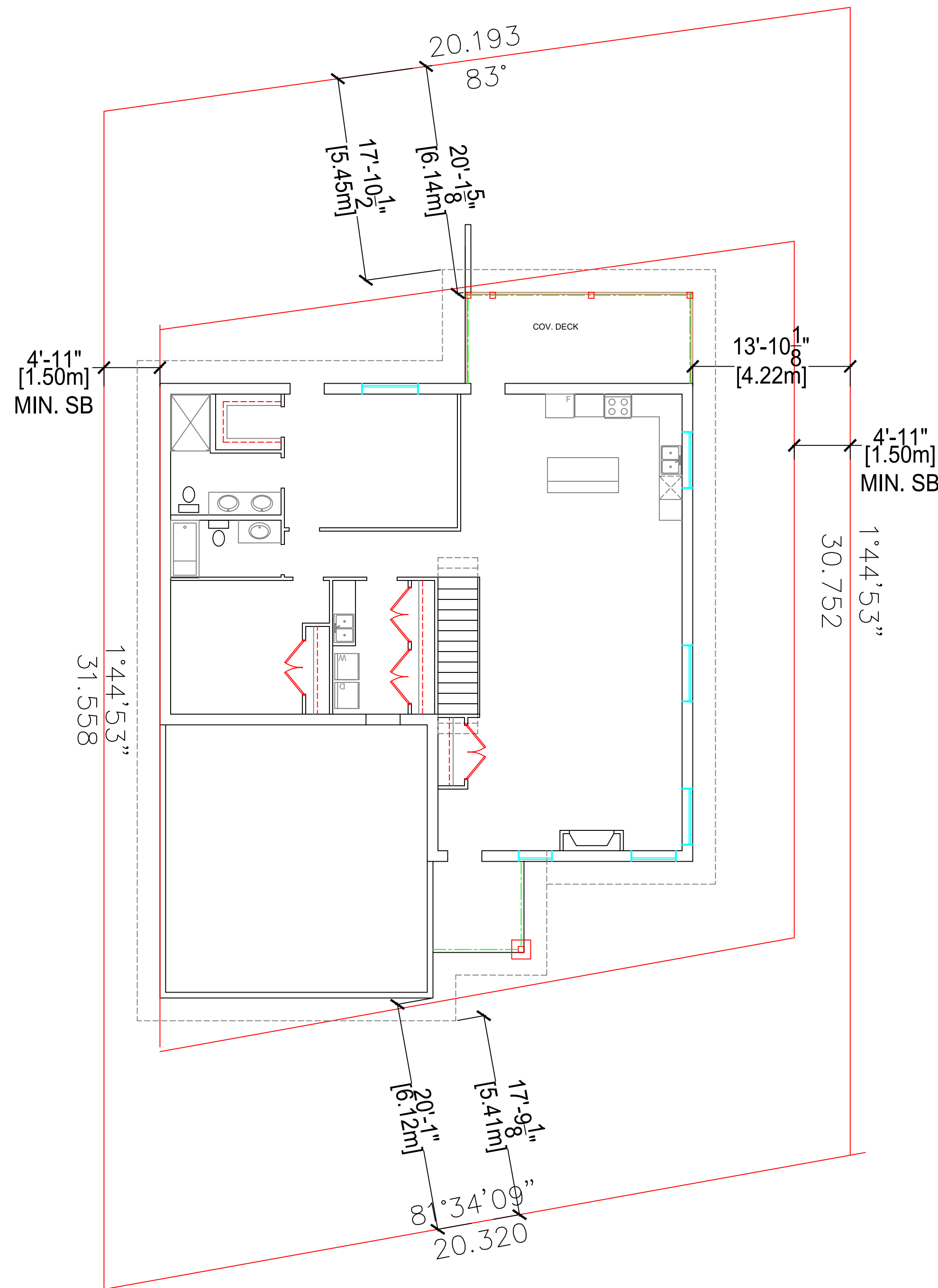
SOFFIT NOTE:
HARD SOFFIT REQ'D ON LEFT SIDE OF RESIDENCE

SITE PLAN

LOT 13, SEC 11, TP 20, R 10, W6M, W6M
(Civic Address), FOOTHILLS ESTATES

THE _____ RESIDENCE

NOTE: GEOMATIC/SURVEY/GRADES REQ'D



LOT COVERAGE:

LOT AREA: 6702 SQ FT.
MAIN FLOOR AREA: 1642 SQ FT.
DEV. BASEMENT FLOOR: 1230 SQ FT.
(SECONDARY SUITE AREA - 952 SQ FT.)
TOTAL BUILDING AREA: 2872 SQ FT.
RATIO: 43%
ALLOWABLE: 45.0%

SHEET LEGEND
A0 - SITE PLAN & NOTES
A1 - ELEVATIONS
A2 - MAIN FLOOR LAYOUT
A3 - MAIN FLOOR PLAN
A4 - BASEMENT/SUITE LAYOUT
A5 - BASEMENT PLAN
A6 - FOUNDATION PLAN
A7 - DETAILS
A8 - SECTIONS & ROOF PLAN
A9 - SCHEDULES & DETAILS

15TH AVE

GENERAL NOTES

- ALL CONSTRUCTION MATERIALS & WORKMANSHIP TO BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE B.C. BUILDING CODE PLUMBING CODE, ELECTRICAL CODE, AND ALL OTHER CODES, ZONING, AND BYLAWS THAT MAY APPLY.
- THE CONTRACTOR AND ALL SUB-TRADES ARE RESPONSIBLE FOR THE REVIEW OF ALL DRAWINGS AND SITE CONDITIONS PRIOR TO COMMENCING WORK OR ORDERING ANY MATERIAL, AND SHALL REPORT AND DISCREPANCIES THAT AFFECT DESIGN TO WOOD CREEK IMMEDIATELY
- ALL FRAMING MATERIAL TO BE S.P.F. #2 OR BETTER WITH THE EXCEPTION OF WALL STUDS
- CONCRETE FOOTINGS AND WALLS TO BE A MINIMUM 28MPA @28 DAYS. FLOOR SLABS AND SIDEWALKS TO BE MINIMUM 32MPA @ 28 DAYS.
- ALL CONCRETE FOOTINGS TO BE PLACED ON ORIGINAL UNDISTURBED GROUND, FREE OF ALL ORGANIC, FROZEN OR FROSTY MATERIAL.
- DAMP PROOF FOUNDATION WALLS BELOW GRADE WITH 2 COATS OF BITUMINOUS MATERIAL.
- 6 MIL. ULTRAVIOLET RESISTANT POLY VAPOUR BARRIER ON A.) 4" OF GRANULAR COMPACTABLE FILL UNDER EXTERIOR OR GARAGE SLABS. OR B.) 4" OF 3/4" DRAIN ROCK OR OTHER MATERIAL SUITABLE FOR MOVEMENT OF RADON GAS UNDER INTERIOR SLABS.
- ALL FOUNDATION DRAINS TO BE 4" PERFORATED P.V.C. WITH FILTER CLOTH AND MINIMUM 6" DRAIN ROCK, DRAINED TO MUNICIPAL SERVICES ACCORDING TO LOCAL STANDARDS.
- GRADE TO BE SLOPED AWAY FROM BUILDING AT ALL LOCATIONS ADJACENT TO BUILDING.
- ALL TRUSSES I-JOISTS, BEAMS OR OTHER STRUCTURAL MEMBERS NOT COVERED IN B.C. BUILDING CODE TO BE DESIGNED AND ENGINEERED BY TRUSS MANUFACTURER OR STRUCTURAL ENGINEER PRIOR TO ANY FABRICATION.
- CONTRACTOR TO VERIFY ALL PROPERTY AND FOUNDATION LINES WITH A LEGAL LAND SURVEYOR PRIOR TO PLACING FOOTINGS OR RUNNING SERVICES WITHIN BUILDING ENVELOPE.
- ALL ROOF SPACES TO BE VENTILATED WITH SOFFIT AND ROOF VENTS WITH A MINIMUM DISTRIBUTION AREA OF 1/300. A MINIMUM OF 25% OF VENTS TO BE LOCATED AT ROOF. MINIMUM 25% TO BE LOCATED AT SOFFIT.
- DOOR FRAMES AT ENTRANCES AND EXTERIOR SPACES TO DWELLING UNITS SHALL BE SOLIDLY BLOCKED BETWEEN DOOR FRAME AND STUDS AT THE HEIGHT OF THE DEADBOLT TO RESIST SPREADING.
- ALL GLASS IN DOORS, SIDELITES OR WINDOWS WITHIN 12" OF FINISHED FLOOR TO BE CONSTRUCTED OF SAFETY GLASS.
- RAIN WATER LEADERS NOT SHOWN ON PLAN . CONTRACTOR TO DETERMINE EXACT LOCATION SUITABLE TO SITE AND MUNICIPAL DRAINAGE.
- ELECTRICAL LOCATIONS TO BE DETERMINED BY ELECTRICAL CONTRACTOR WITH THE APPROVAL OF THE HOME OWNER OR GENERAL CONTRACTOR AND IN ACCORDANCE WITH CURRENT ELECTRICAL CODE.
- APPROVED SMOKE ALARMS TO BE INSTALLED WITH LOCATION APPROVED BY APPROPRIATE LOCAL MUNICIPALITY.
- REFER TO LAOUTS AND SPECIFICATIONS FROM STRUCTURAL ENGINEER, FLOOR JOIST SUPPLIER, AND ROOF TRUSS MANUFACTURER FOR BEAM, POST, FOOTING LOCATIONS AND SIZES. ENSURE PROPER BEARING IS PROVIDED FOR ALL POINT LOADS. ANY STRUCTURAL SPECIFICATIONS SHOWN ON WOOD CREEK PLANS ARE ESTIMATES ONLY AND MAY NOT ACCURATELY REPRESENT LOADING AND SIZING. OR MAY NOT INCLUDE POINT LOADS OR STRUCTURAL MEMBERS DESIGNED BY OTHERS.

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DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE. THIS DRAWING IS THE PROPERTY OF WOOD CREEK CONSTRUCTION AND MAY BE USED ONLY FOR THE PURPOSE FOR WHICH IT IS LOANED BY THE COMPANY

NO.	DATE	DESCRIPTION
1	03/05/20	Foundation extended to edge of deck girdler truss and basement beam added bearing wall in basement moved back 2'
		Truss/Joist plan updated
2	03/16/20	Fire place moved to adjacent wall. Windows on wall moved to accommodate. Partition also wall added to foyer

NO.	DATE	DESCRIPTION
REVISIONS		



LEGAL DESCRIPTION
LOT 13, SEC 11, TP 20, R 10, W6M, W6M
81 15AVE SE, SALMON ARM, BC

PROJECT NO: 0000
CUSTOMER: LOT 13 - FHE

SHEET TITLE: SITE PLAN & GENEREAL NOTES

DATE: MAR 16/2020
SCALE: 1/16"=1'
DRAWN: PC
CHECKED: XX
SHEET NUMBER: A-0

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REVISIONS

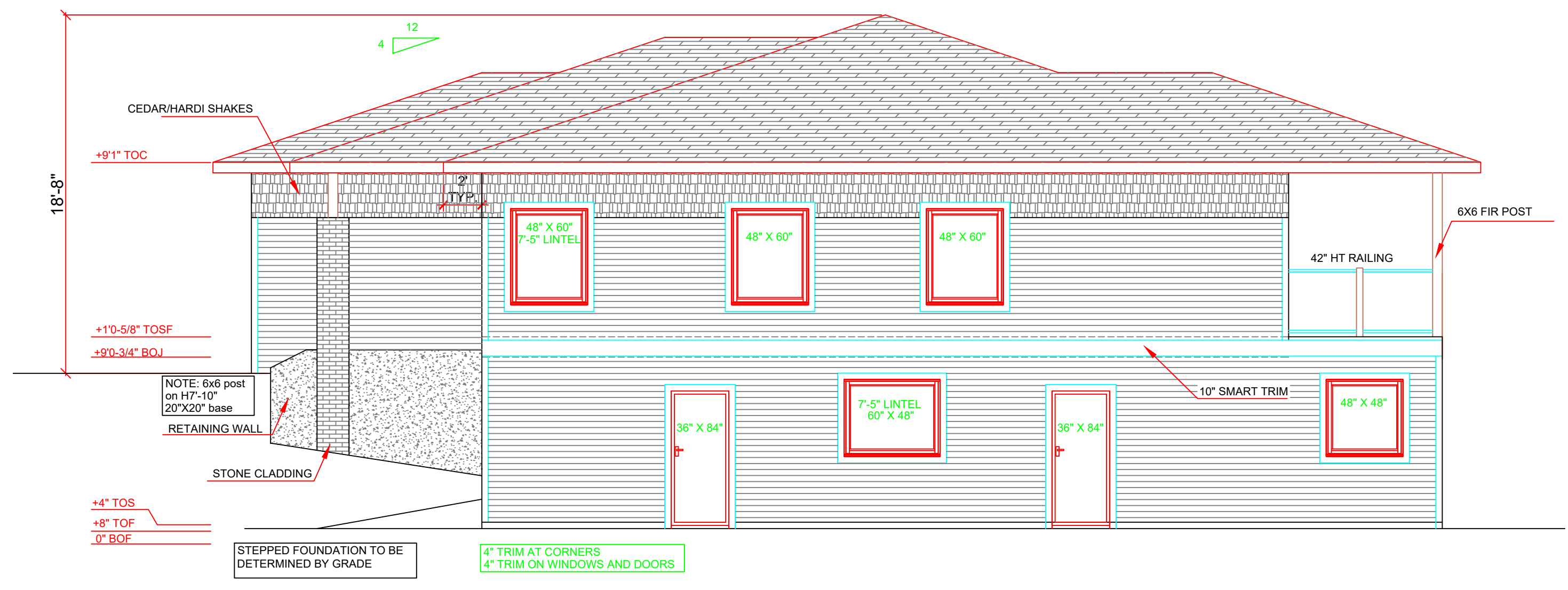


LEGAL DESCRIPTION
LOT 13, SEC 11, TP 20, R 10, W6M, W6M
81 15AVE SE, SALMON ARM, BC

PROJECT NO. 0000
CUSTOMER LOT 13 - FHE

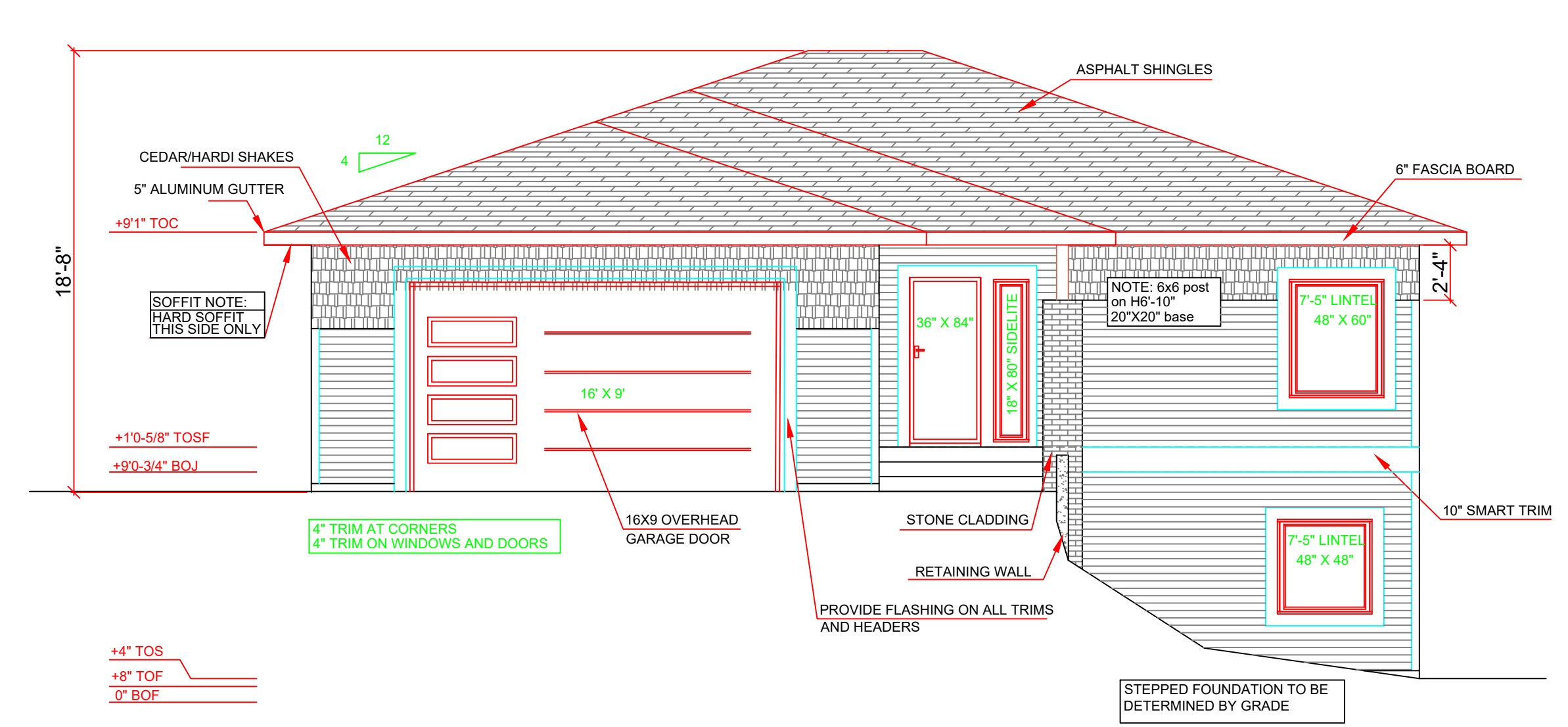
SHEET TITLE
ELEVATIONS

DATE	MAR 16/2020	SHEET NUMBER	A-1
SCALE	3/16"=1'		
DRAWN	PC		
CHECKED	XX		



GLAZING CALCULATIONS	
WALL AREA (E.B.F.)	778 sq ft [72.27 sq m]
WINDOW AREA	21 sq ft [8.56 sq m]
RATIO	15%
ALLOWABLE	55%
LIMITING DISTANCE	13'10" [4.22m] [to prop line]

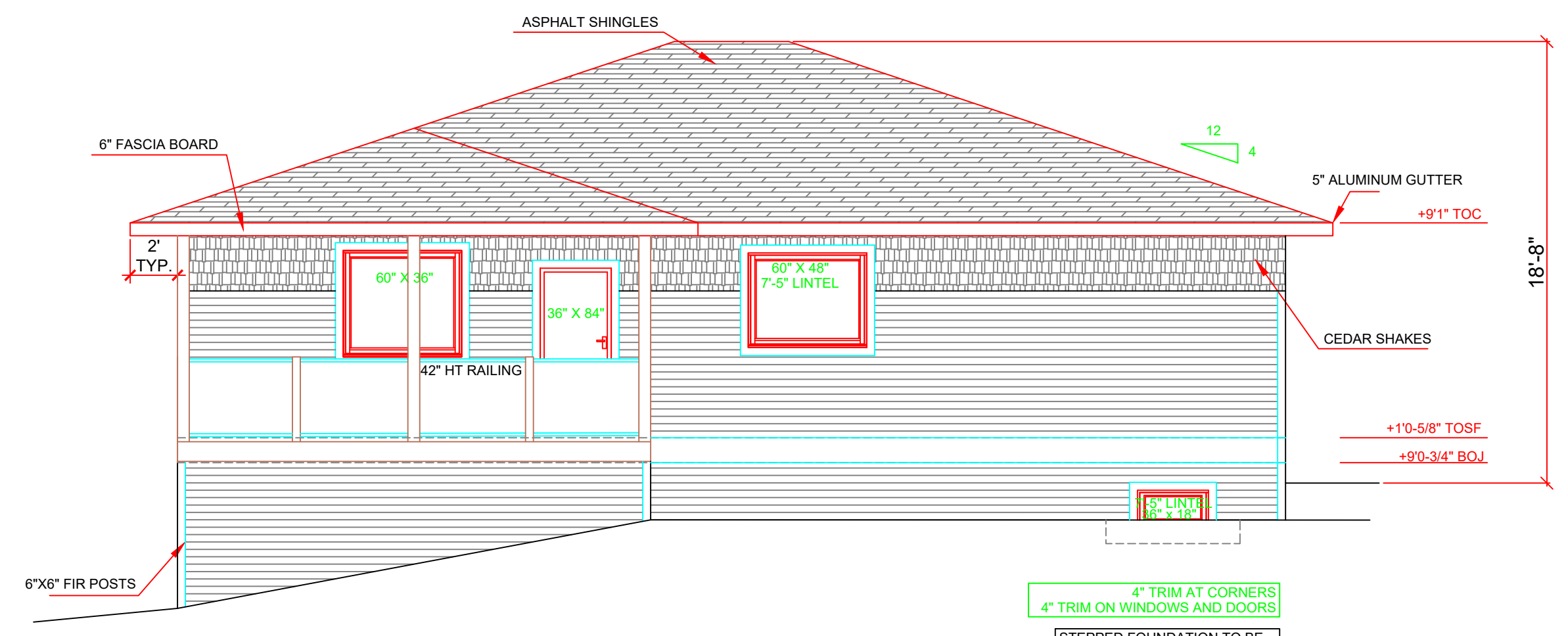
RIGHT ELEV.



GLAZING CALCULATIONS	
WALL AREA (E.B.F.)	550 sq ft [51.09 sq m]
WINDOW AREA	76 sq ft [7.06 sq m]
RATIO	14%
ALLOWABLE	100%
LIMITING DISTANCE	17.22m [to center of road]

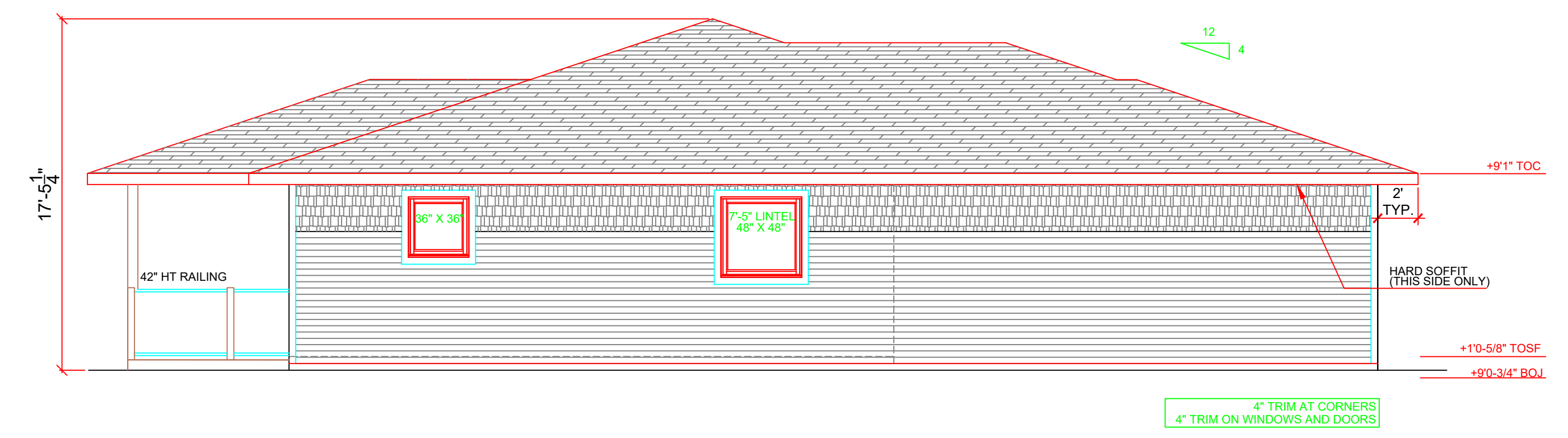
FRONT ELEVATION

CONSTRUCTION OPTIONS
NO H.R.V. INSTALLED
NO SPRINKLER SYSTEM
FORCED AIR
I.C.F. FOUNDATION & WALLS



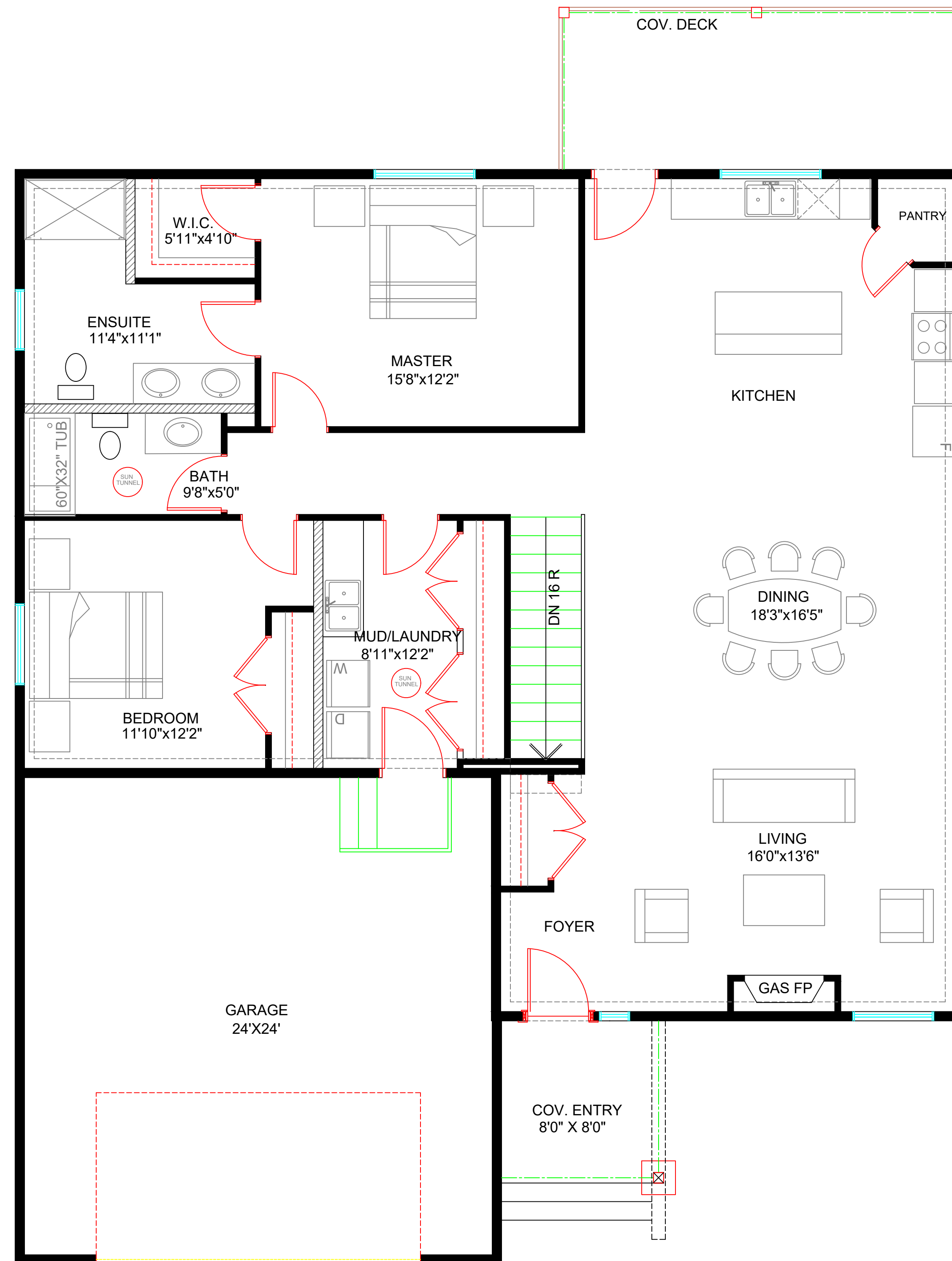
GLAZING CALCULATIONS	
WALL AREA (E.B.F.)	640 sq ft [59.45 sq m]
WINDOW AREA	124.5 sq ft [11.51 sq m]
RATIO	19%
ALLOWABLE	19%
LIMITING DISTANCE	6.0m [to rear prop line]

FRONT ELEVATION



GLAZING CALCULATIONS	
WALL AREA	497 sq ft [46.17 sq m]
WINDOW AREA	25 sq ft [2.12 sq m]
RATIO	0.5%
ALLOWABLE	7%
LIMITING DISTANCE	4'11" [1.5m] [to prop line]

LEFT ELEV.



FLOOR NOTES

1. FRAMED EXTERIOR WALLS DO NOT INCLUDE EXTERIOR SHEATHING.
2. ALL DIMENSIONS SHOWN ARE TO FRAMING AND DO NOT INCLUDE DRYWALL OR OTHER FINISHES
3. ALL HEADERS TO BE 3-2X10 IN 2X6 WALLS AND 2-2X10 IN 2X4 WALLS UNLESS NOTED OTHERWISE
4. ALL DOORS AND WINDOWS FRAMED 4-1/2" FROM ADJACENT WALLS UNLESS NOTED OTHERWISE
5. ALL DOOR SLABS TO MEASURE 80" IN HEIGHT UNLESS OTHERWISE NOTED
6. INDIVIDUAL ROOM AREAS ARE CALCULATED FROM INSIDE OF FRAMING WHEREAS THE OVERALL FLOOR AREA IS CALCULATED TO OUTSIDE EXTERIOR WALLS

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REVISIONS

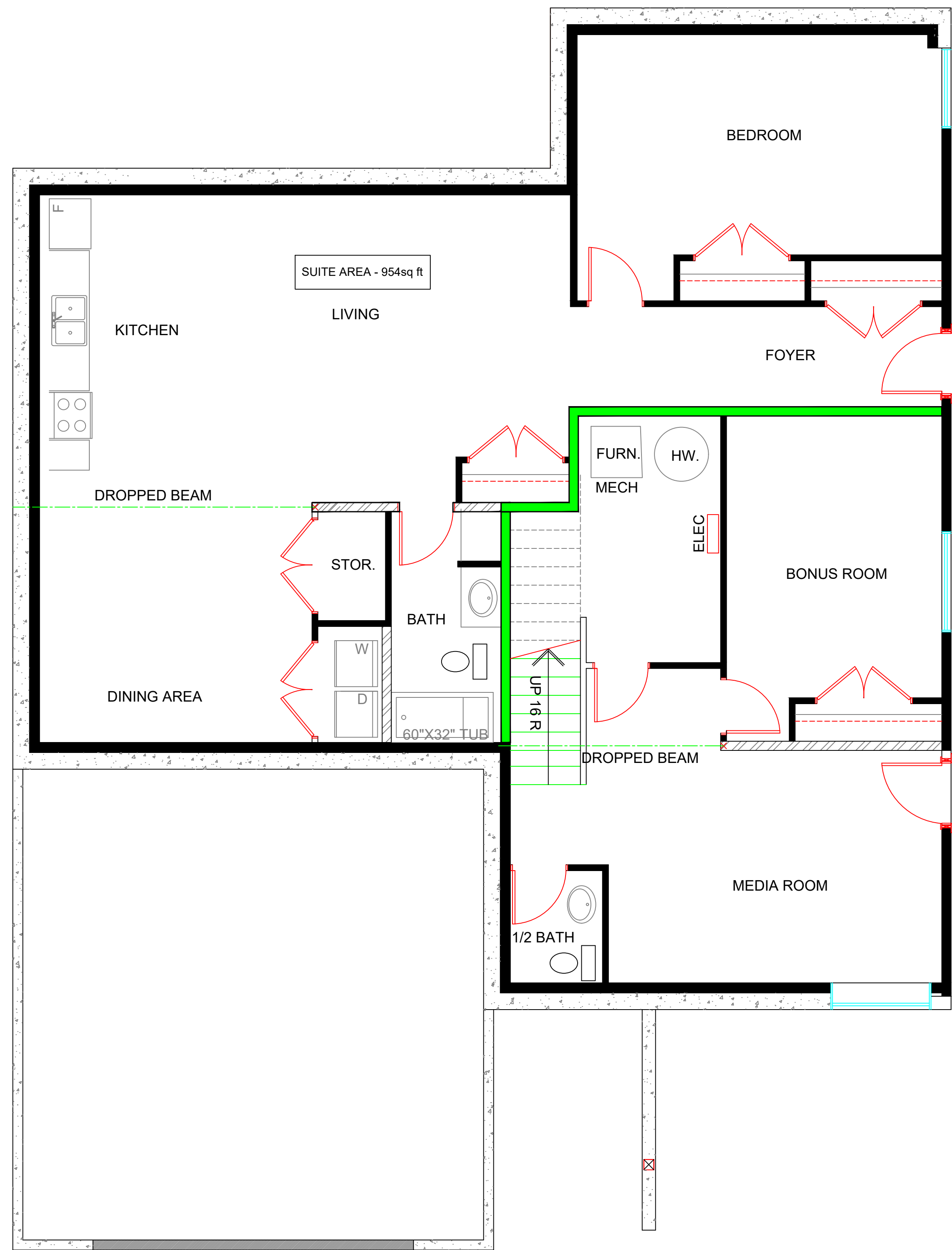


LEGAL DESCRIPTION
LOT 13, SEC 11, TP 20, R 10, W6M, W6M
81 15AVE SE, SALMON ARM, BC

PROJECT NO.
CUSTOMER
LOT 13 - FHE

MAIN FLOOR LAYOUT

DATE: MAR 16/2020
SCALE: 1/4"=1'
DRAWN: PC
CHECKED: XX
SHEET NUMBER: **A-2**



WINDOW/DOOR LEGEND
 PICTURE - P
 AWNING - A
 HORIZONTAL SLIDER - SL
 SINGLE HUNG - SH

- SOUND INSULATION
- PLUMB WALL
- LOAD BEARING WALL
- 1' HIGHER FOUNDATION

- FLOOR NOTES**
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NO. DATE DESCRIPTION

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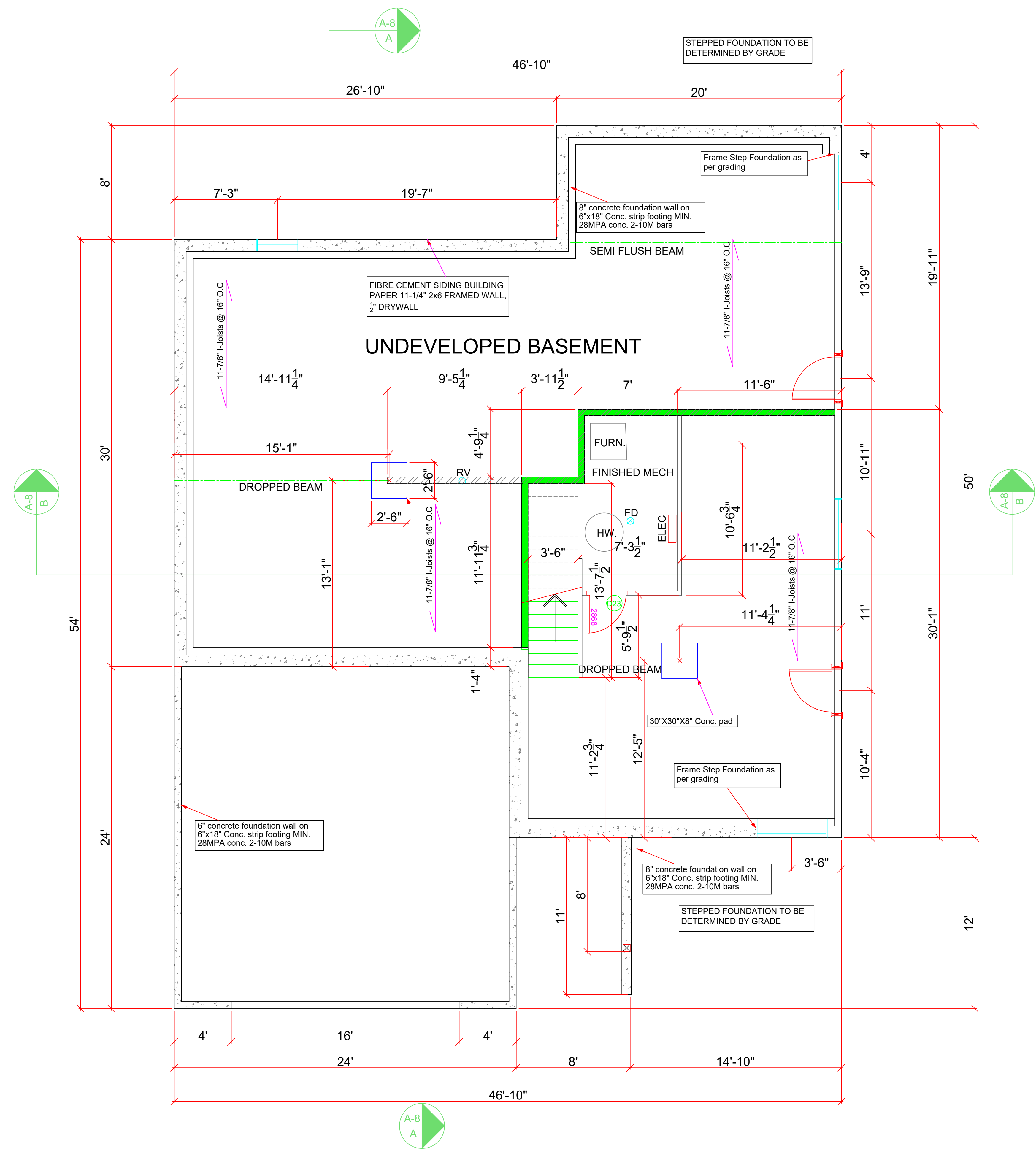
LEGAL DESCRIPTION
 LOT 13, SEC 11, TP 20, R 10, W6M, W6M
 81 15AVE SE, SALMON ARM, BC

PROJECT NO. 0000

CUSTOMER LOT 13 - FHE

SHEET TITLE
**PROPOSED
 FUTURE
 BASEMENT**

DATE MAR 16/2020 SHEET NUMBER
 SCALE 1/4"=1'
 DRAWN PC
 CHECKED XX
A-4



WINDOW/DOOR LEGEND
 PICTURE - P
 AWNING - A
 HORIZONTAL SLIDER - SL
 SINGLE HUNG - SH

SOUND INSULATION
L.B. WALL

- FLOOR NOTES**
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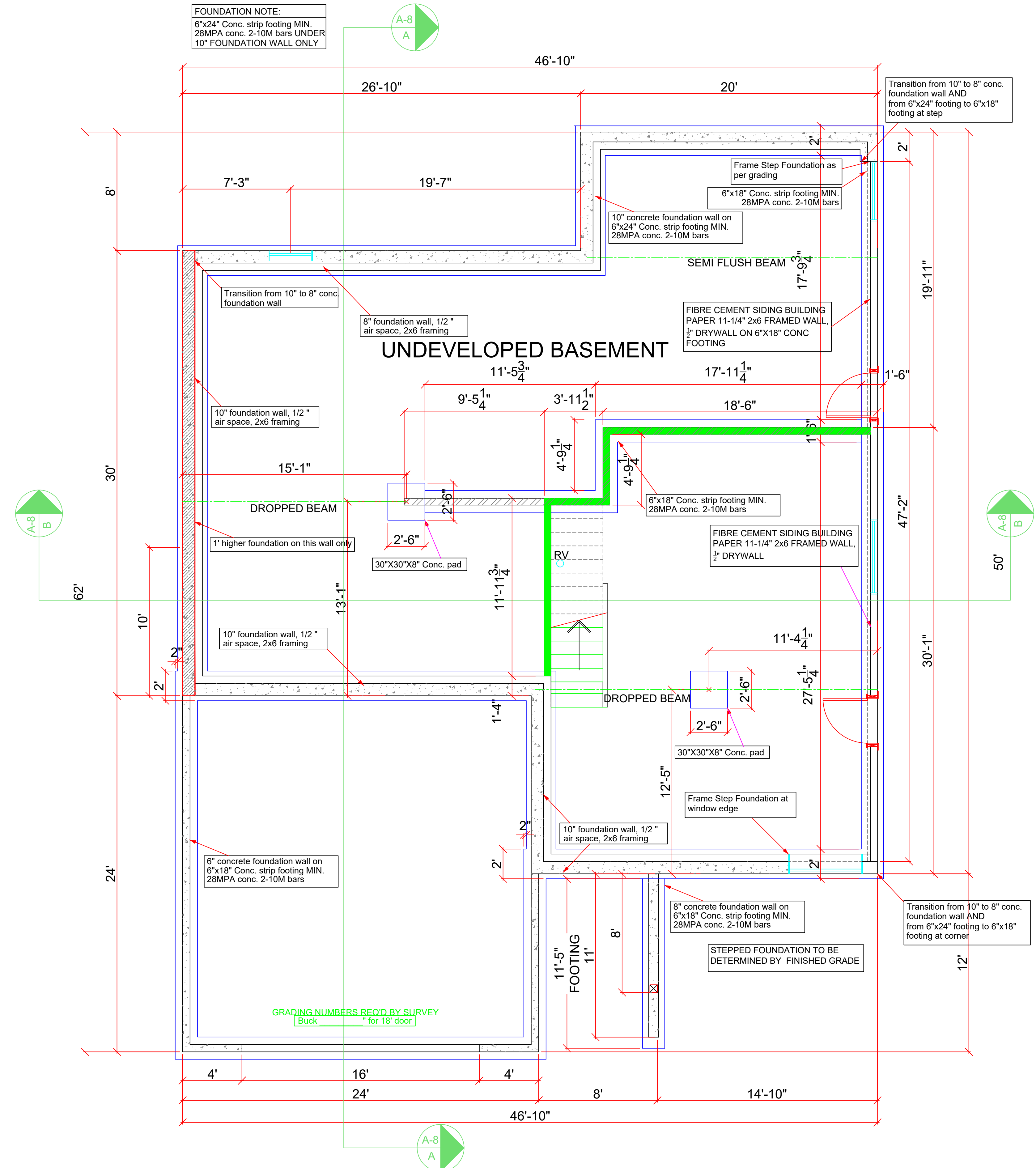
REVISIONS



LEGAL DESCRIPTION
 LOT 13, SEC 11, TP 20, R 10, W6M, W6M
 81 15AVE SE, SALMON ARM, BC

PROJECT NO. 0000
 CUSTOMER LOT 13 - FHE
 SHEET TITLE BASEMENT PLAN

DATE MAR 16/2020
 SCALE 1/4"=1'
 DRAWN PC
 CHECKED XX
 SHEET NUMBER A-5



WINDOW/DOOR LEGEND
 PICTURE - P
 AWNING - A
 HORIZONTAL SLIDER - SL
 SINGLE HUNG - SH

SOUND INSULATION
L.B. WALL
1' HIGHER FOUNDATION (JOISTS TO BE HUNG FLUSH TO TOP OF ICF WALL)

- FLOOR NOTES**
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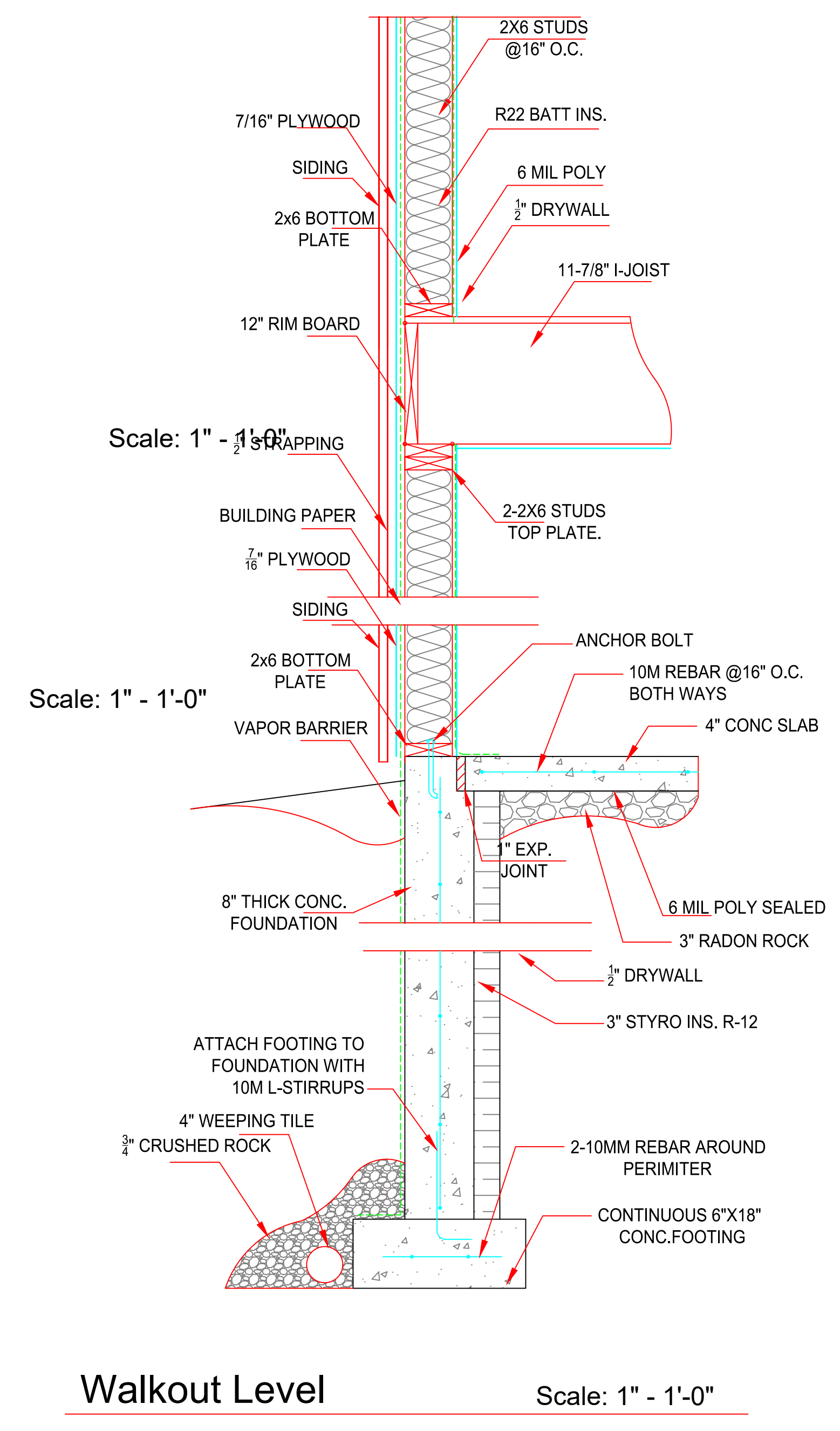
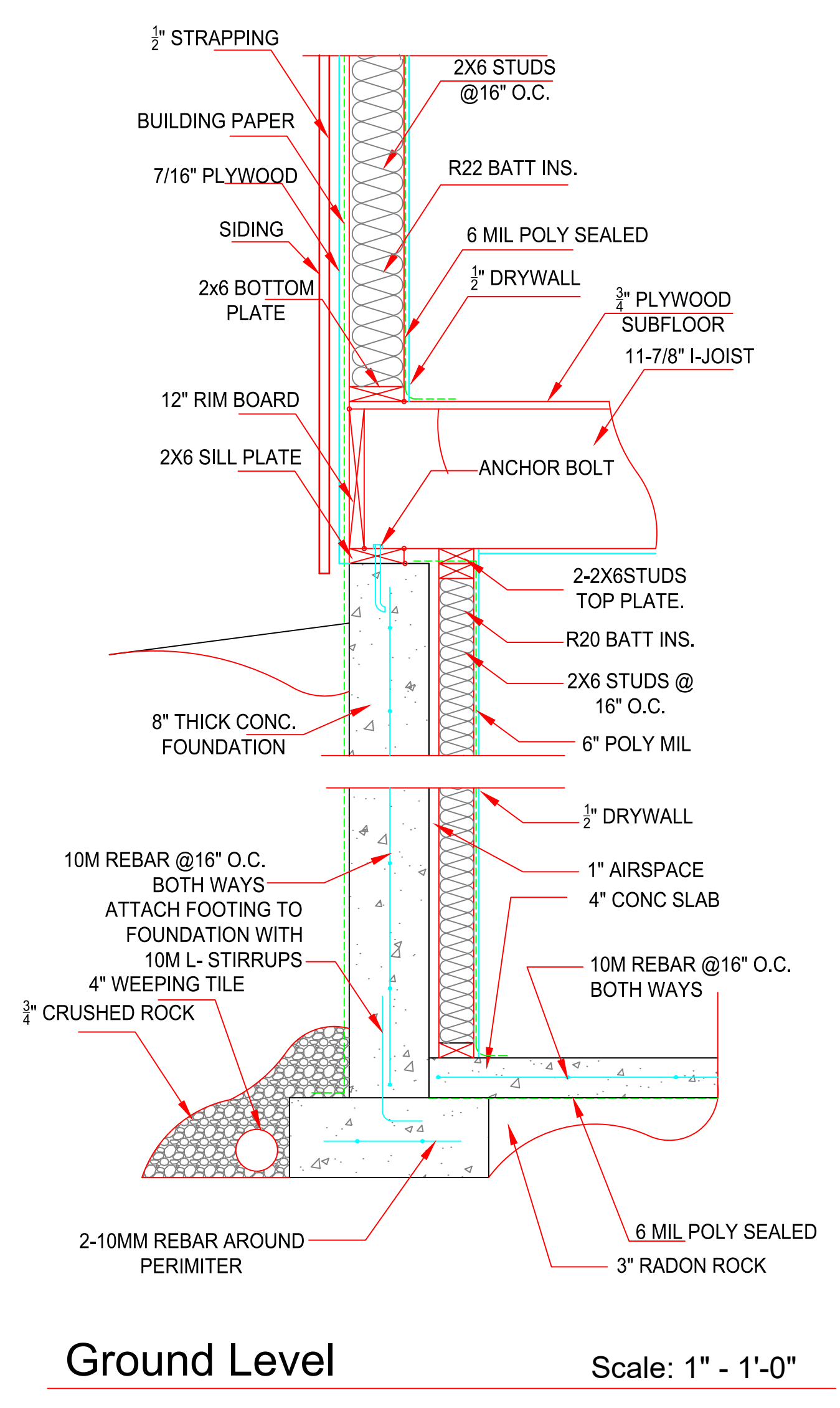
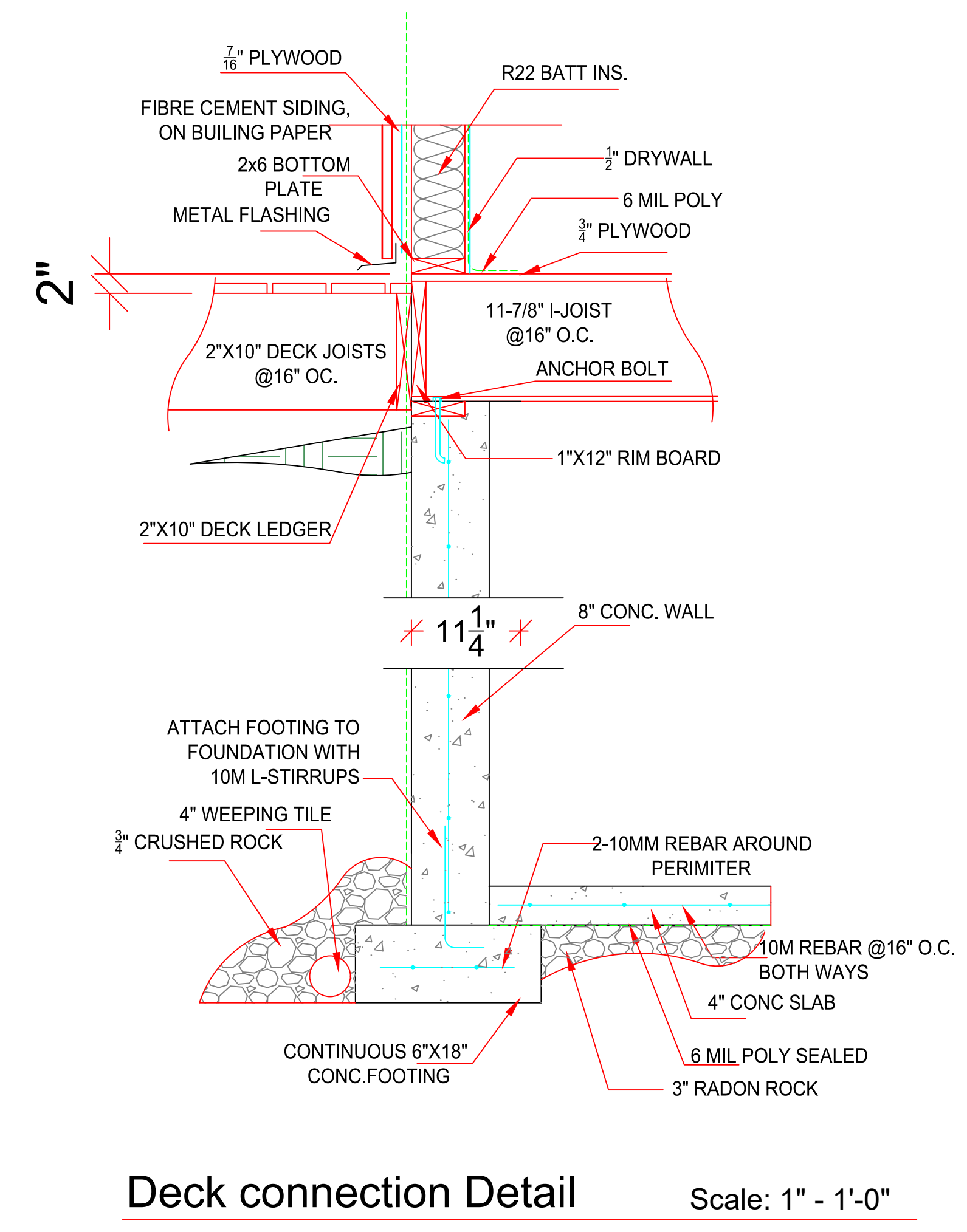
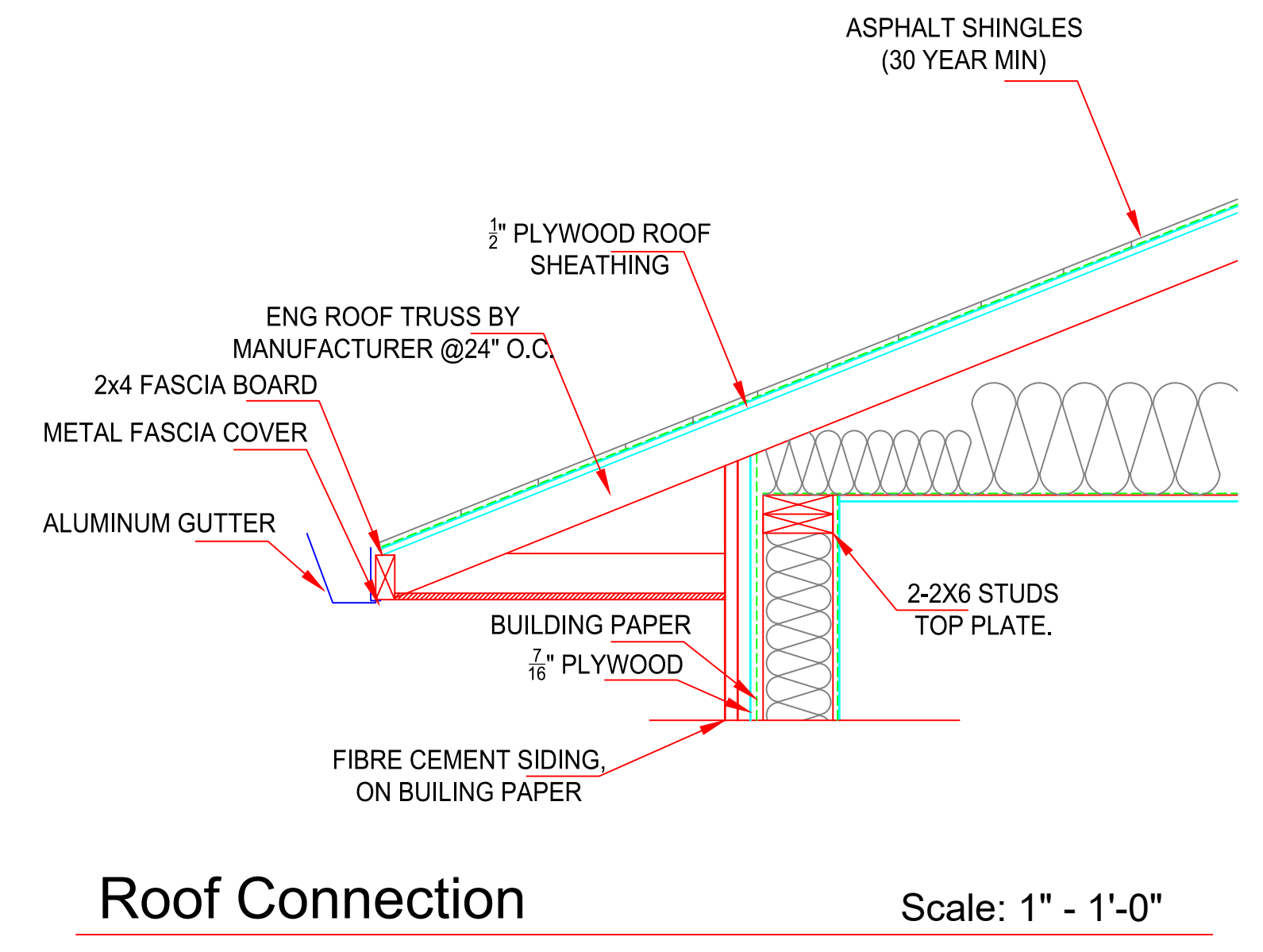
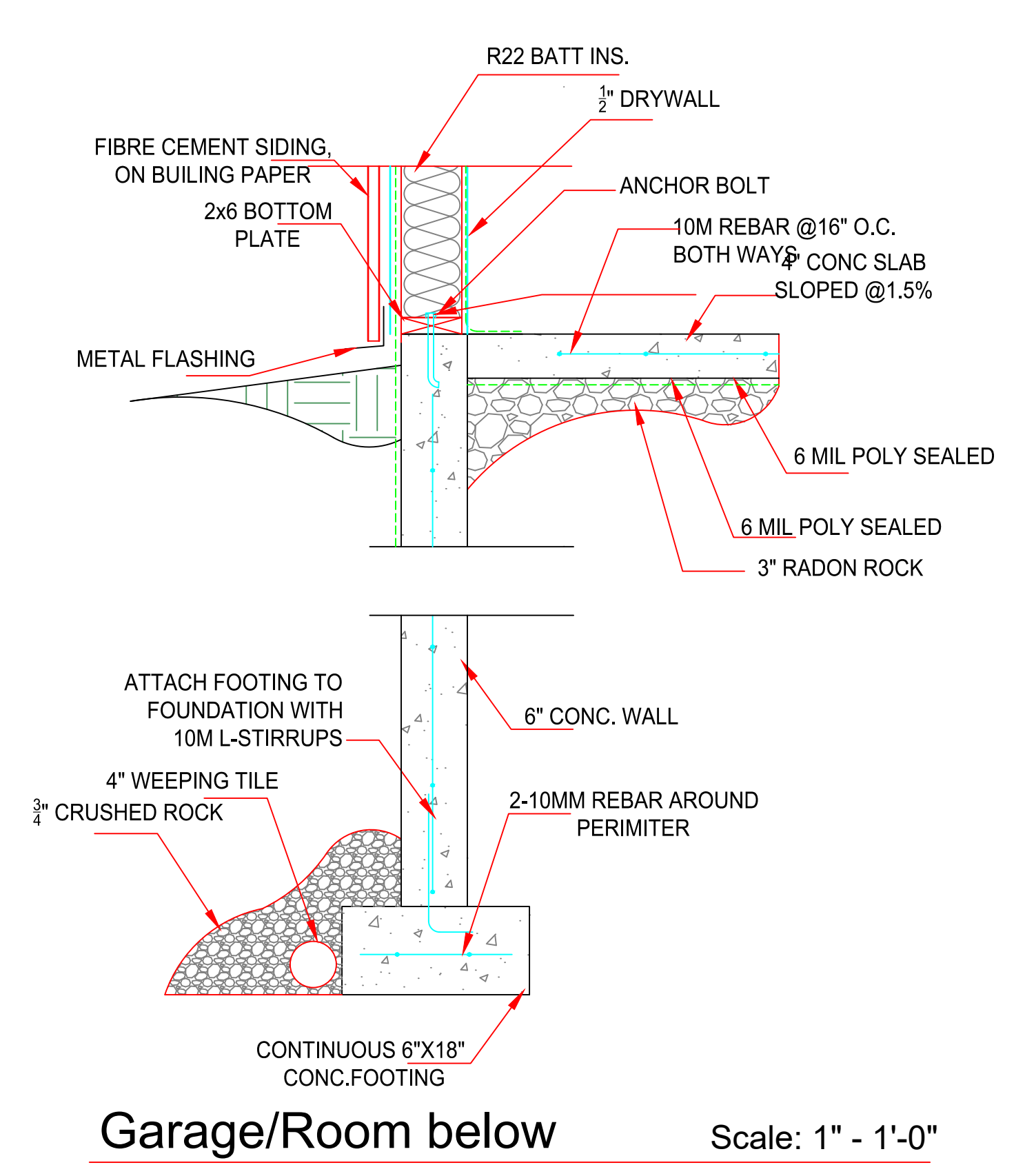


LEGAL DESCRIPTION
 LOT 13, SEC 11, TP 20, R 10, W6M, W6M
 81 15AVE SE, SALMON ARM, BC

PROJECT NO. 0000
 CUSTOMER LOT 13 - FHE
 SHEET TITLE FOUNDATION PLAN

DATE MAR 16/2020
 SCALE 1/4"=1'-0"
 DRAWN PC
 CHECKED XX

SHEET NUMBER
A-6



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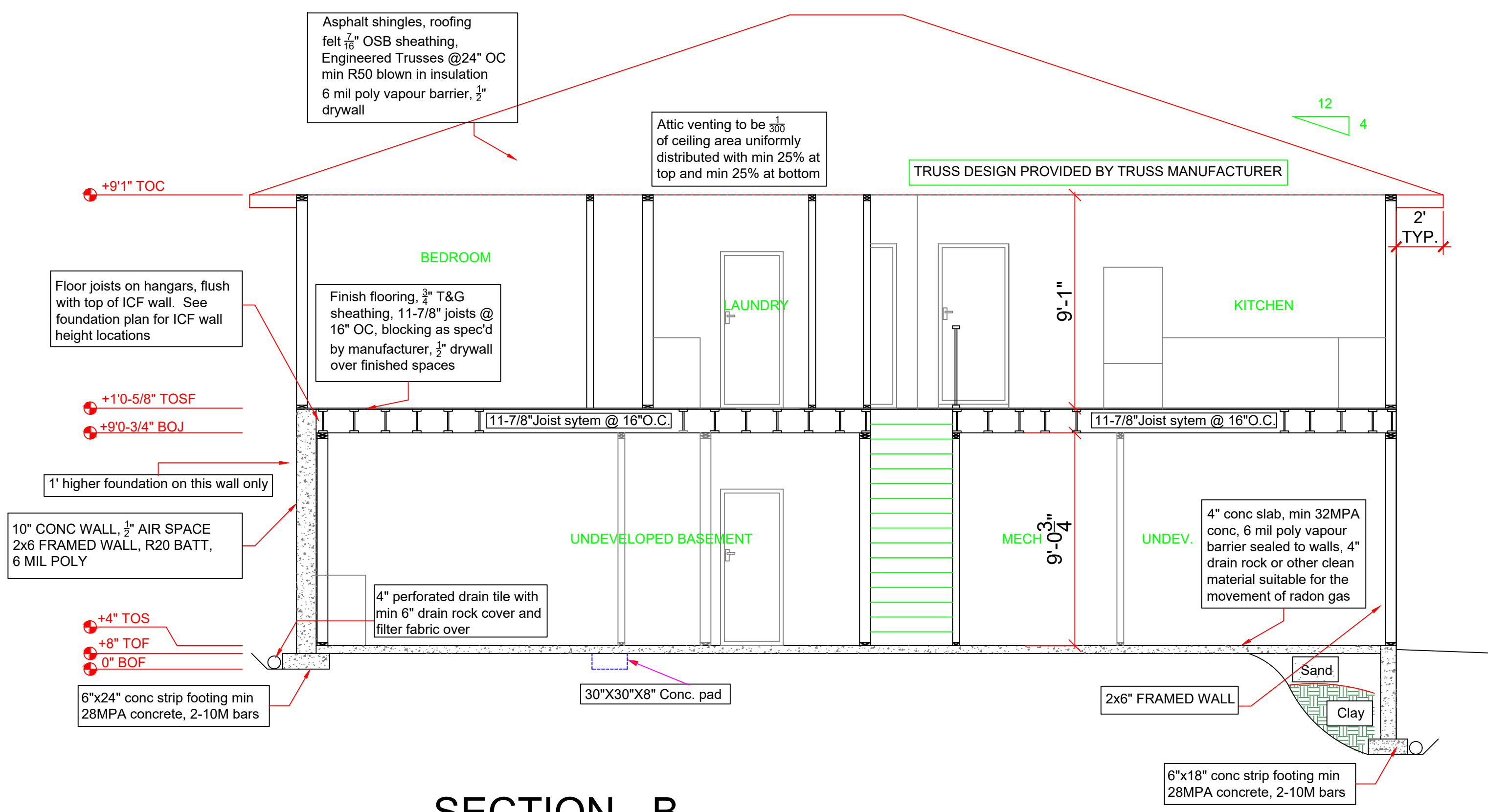
Wood Creek Construction Ltd.
-Building with Confidence-

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81 15AVE SE, SALMON ARM, BC

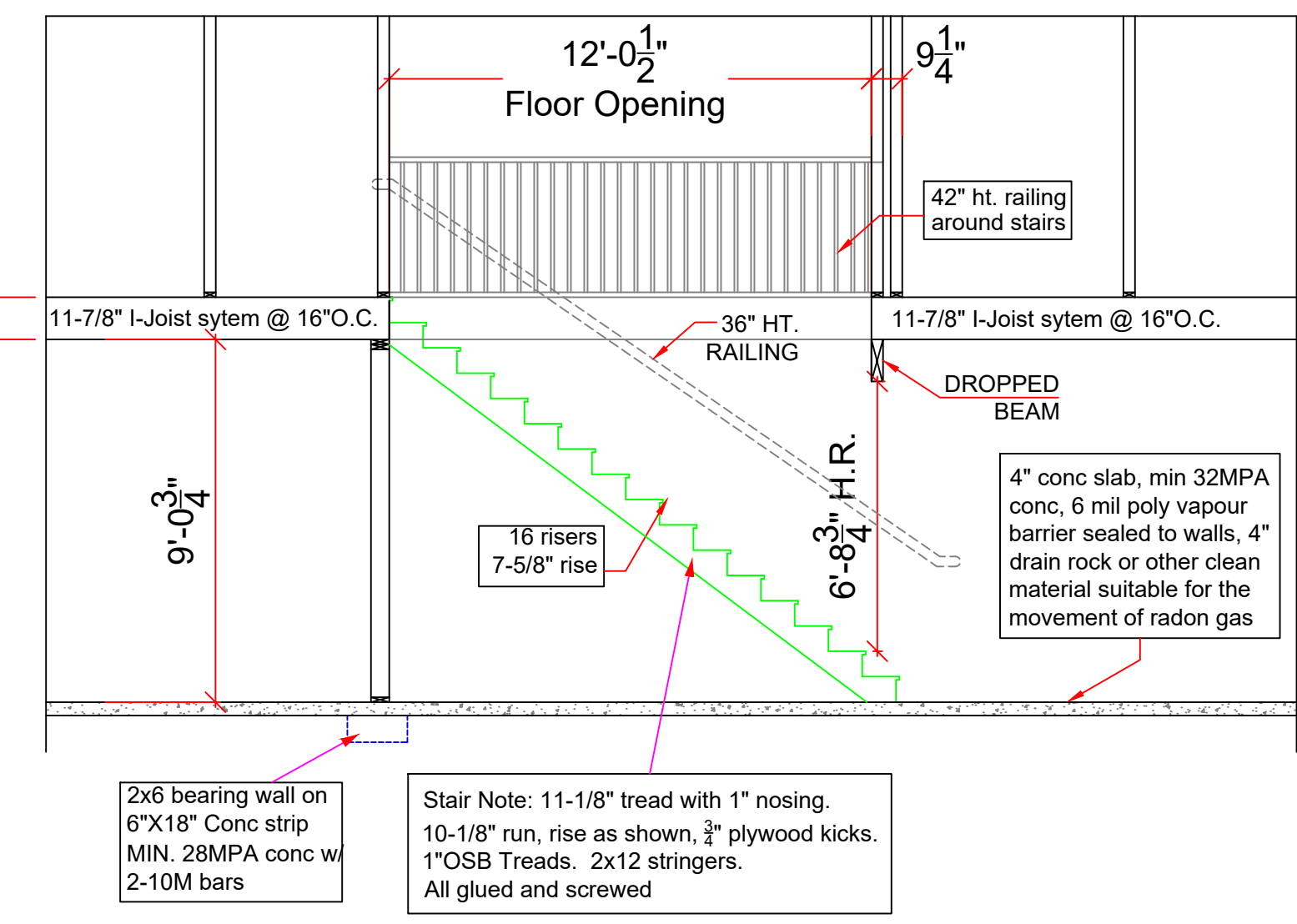
PROJECT NO. 0000
CUSTOMER LOT 13 - FHE

SHEET TITLE
DETAILS

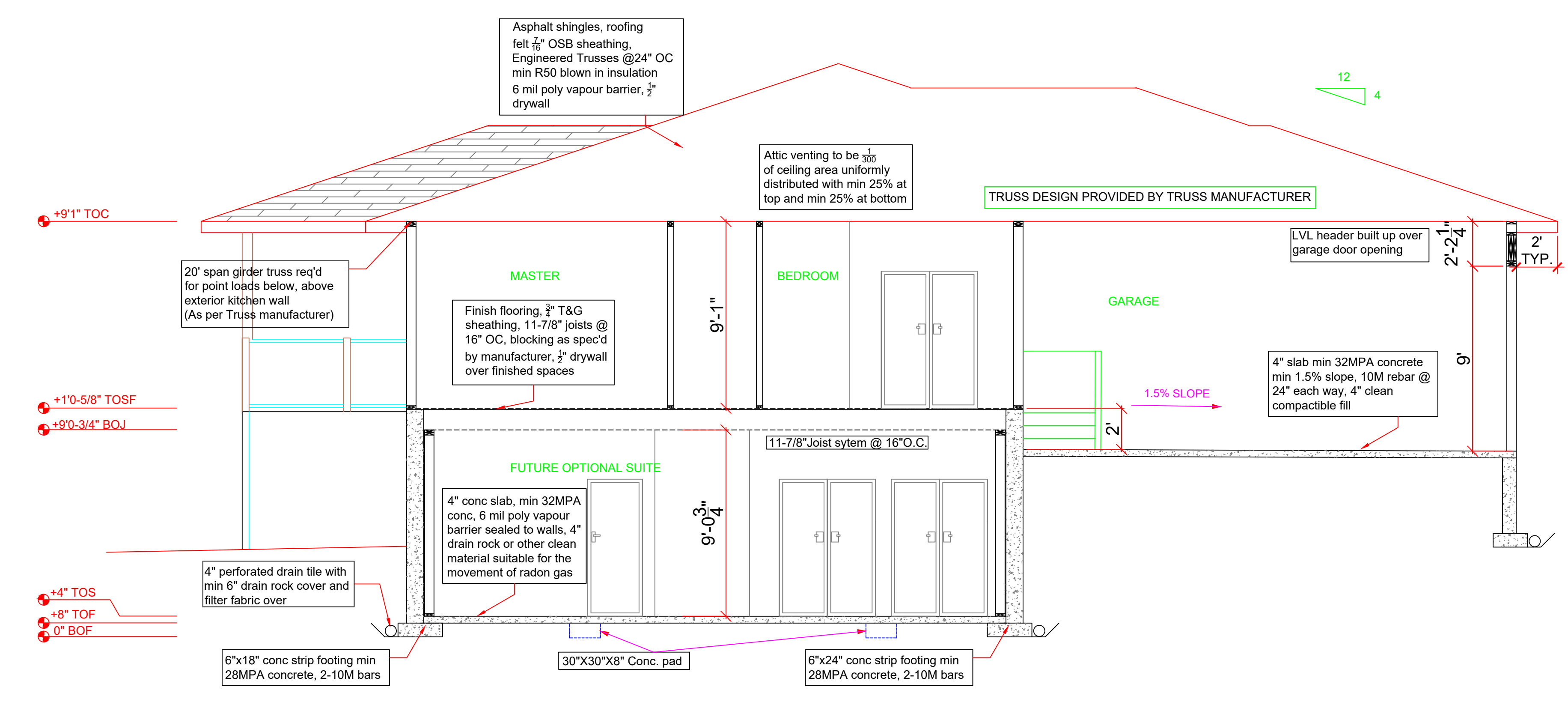
DATE MAR 16/2020
SCALE VARIES
DRAWN PC
CHECKED XX
SHEET NUMBER
A-7



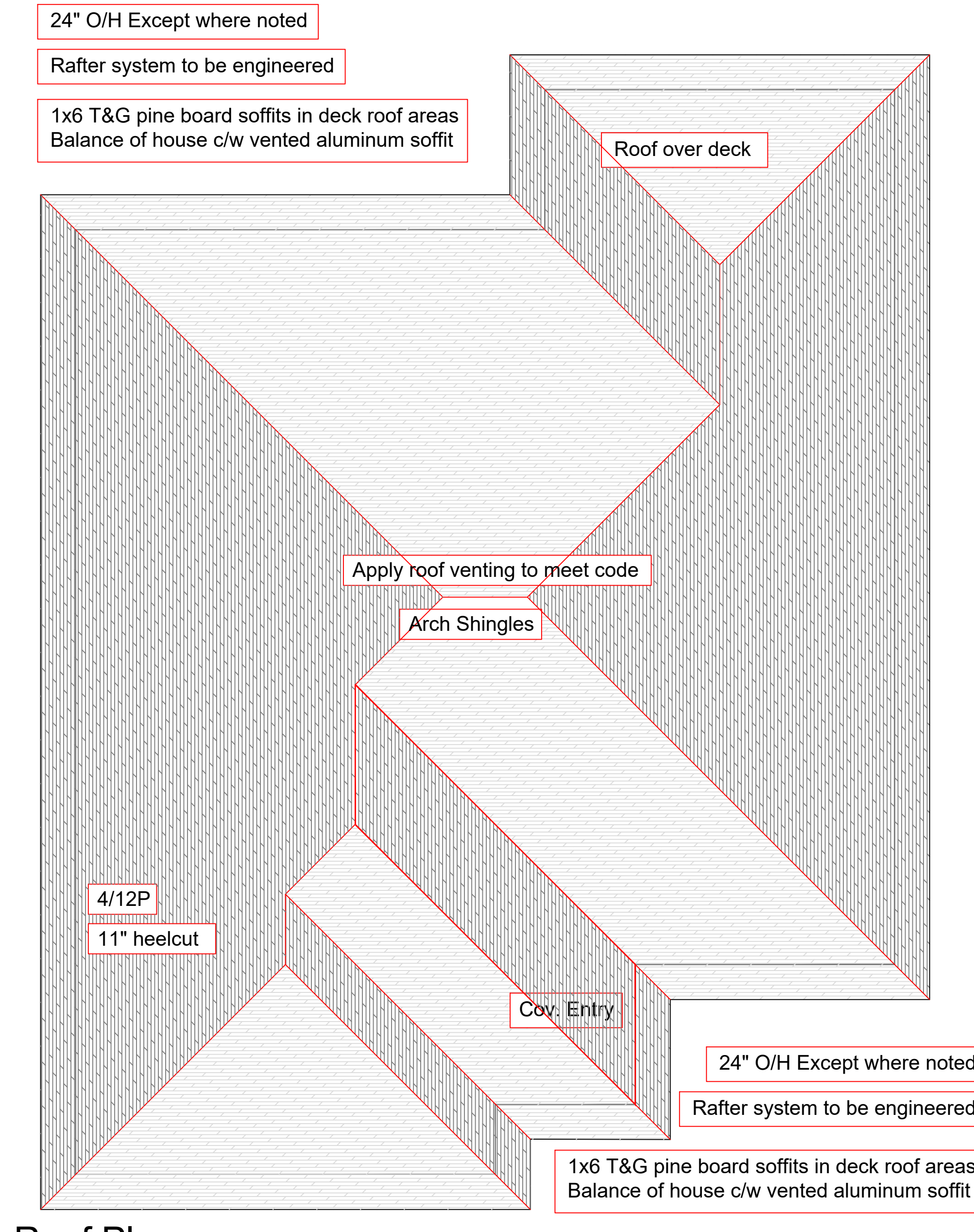
SECTION - B



STAIR SECTION



SECTION - A



Roof Plan

Scale: 3/16" = 1'-0"

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REVISIONS

Wood Creek Construction Ltd.
-Building with Confidence-

LEGAL DESCRIPTION
LOT 13, SEC 11, TP 20, R 10, W6M, W6M
81 15AVE SE, SALMON ARM, BC

PROJECT NO. 0000

CUSTOMER LOT 13 - FHE

SHEET TITLE
SECTIONS & ROOF PLAN

DATE	MAR 16/2020	SHEET NUMBER	A-8
SCALE	1/4"=1'		
DRAWN	PC		
CHECKED	XX		

WINDOW SCHEDULE						
	MARK		SASH OPERATION	RO WIDTH	RO HEIGHT	COMMENTS
W	1	1668	SIDELITE	1'6"	6'8"	
W	2	4050	SLIDER	4'0"	5'0"	
W	3	4050	SLIDER	4'0"	5'0"	
W	4	4050	SLIDER	4'0"	5'0"	
W	5	5030	SLIDER	5'0"	3'0"	
W	6	5040	SLIDER	5'0"	4'0"	
W	7	3030	SLIDER	3'0"	3'0"	
W	8	4040	SLIDER	4'0"	4'0"	
W	9	4030	SLIDER	4'0"	3'0"	
W	10	4050	SLIDER	4'0"	5'0"	
W	11	4040	SLIDER	4'0"	4'0"	
W	12	4040	SLIDER	4'0"	4'0"	
W	13	4040	SLIDER	4'0"	4'0"	

DOOR SCHEDULE							
	MARK		DOOR OPERATION	RO WIDTH	RO HEIGHT	SIDE LITES	LOCATION
D	1		OVERHEAD DOOR	16'	8'0"		GARAGE
D	2	3068	SWING SIMPLE	3'2-3/8"	6'11"		MAIN ENTRY
D	3	3068	SWING SIMPLE	3'2-3/8"	6'11"		COVERED DECK
D	4	3068	SWING SIMPLE	3'2-3/8"	6'11"		BASEMENT
D	5	2868	SWING SIMPLE	2'8"	6'11"		WIC
D	6	2868	SWING SIMPLE	2'8"	6'11"		ENSUITE
D	7	2868	SWING SIMPLE	2'8"	6'11"		BATH
D	8	2868	SWING SIMPLE	2'8"	6'11"		BEDROOM 2
D	9	2868	SWING SIMPLE	2'8"	6'11"		LAUNDRY
D	10	2868	SWING SIMPLE	2'8"	6'11"		MASTER
D	11	2468	SWING SIMPLE	2'4"	6'11"		KITCHEN PANTRY
D	13	5068	SWING BI-PART	5'0"	6'11"		BEDROOM 2
D	14	3068	SWING SIMPLE	3'2-3/8"	6'11"		GARAGE MAN DOOR
D	15	5068	SWING BI-PART	5'0"	6'11"		ENTRY CLOSET
D	16	3068	SWING SIMPLE	3'2-3/8"	6'11"		SUITE ENTRY
D	17	5068	SWING BI-PART	5'0"	6'11"		SUITE LAUNDRY
D	18	5068	SWING BI-PART	5'0"	6'11"		SUITE STORAGE
D	19	2868	SWING SIMPLE	2'8"	6'11"		SUITE BATH
D	20	5068	SWING BI-PART	5'0"	6'11"		SUITE ENTRY CLOSET
D	21	2868	SWING SIMPLE	2'8"	6'11"		SUITE BEDROOM
D	22	5068	SWING BI-PART	5'0"	6'11"		SUITE BED CLOSET
D	23	2868	SWING SIMPLE	2'8"	6'11"		MECH
D	24	2868	SWING SIMPLE	2'8"	6'11"		BASEMENT BED
D	25	2868	SWING SIMPLE	2'8"	6'11"		BASEMENT BATH
D	26	5068	SWING BI-PART	5'0"	6'11"		BASEMENT BED CLOSET

OPTIONAL BASEMENT DEVELOPMENT

NOTE: ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL CODES AND BYLAWS. DESIGN OF FOUNDATION AND FOOTINGS TO BE MODIFIED TO SUIT LOCAL SOIL CONDITIONS AS REQUIRED
DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE. THIS DRAWING IS THE PROPERTY OF WOOD CREEK CONSTRUCTION AND MAY BE USED ONLY FOR THE PURPOSE FOR WHICH IT IS LOANED BY THE COMPANY

1	03/05/20	Foundation extended to edge of deck girdler truss and basement beam added
		bearing wall in basement moved back 2'
		Truss/Joist plan updated
2	03/16/20	Fire place moved to adjacent wall, Windows on wall moved to accommodate. Partition also wall added to foyer

NO.	DATE	DESCRIPTION
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REVISIONS



LEGAL DESCRIPTION

LOT 13, SEC 11, TP 20, R 10, W6M, W6M
81 15AVE SE, SALMON ARM, BC

PROJECT NO. 0000

CUSTOMER LOT 13 - FHE

SHEET TITLE
SCHEDULES & DETAILS

DATE	MAR 16/2020	SHEET NUMBER	A-9
SCALE	NTS		
DRAWN	PC		
CHECKED	XX		