

17 AVE SE

SITE PLAN

LOT 34, SEC 12, TP 20, R 10, W6M, KDYD, Plan EPP69286
(Civic Address), BYERSVIEW

THE WINTERS RESIDENCE

NOTE: GEOMATIC/SURVEY/GRADES REQ'D

SHEET LEGEND

- A1 - SITE PLAN & NOTES
- A2 - ELEVATIONS
- A3 - MAIN FLOOR
- A4 - MAIN FLOOR PLAN
- A5 - BASEMENT LAYOUT
- A6 - BASEMENT PLAN
- A7 - FOUNDATION PLAN
- A8 - ROOF & DETAILS
- A9 - SECTIONS & WINDOW/DOOR SCHEDULES

LOT COVERAGE:

LOT AREA: 11237 SQ. FT.

MAIN FLOOR AREA: 1717 SQ. FT.

DEV. BASEMENT FLOOR: 1573 SQ. FT.

(SECONDARY SUITE AREA - 910 SQ. FT.)

TOTAL FOOTPRINT AREA: 2814 SQ. FT.

RATIO: 25%

ALLOWABLE: 45.0%

SITE PLAN

GENERAL NOTES

1. ALL CONSTRUCTION MATERIALS & WORKMANSHIP TO BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE B.C. BUILDING CODE PLUMBING CODE, ELECTRICAL CODE, AND ALL OTHER CODES, ZONING, AND BYLAWS THAT MAY APPLY.
2. THE CONTRACTOR AND ALL SUB-TRADES ARE RESPONSIBLE FOR THE REVIEW OF ALL DRAWINGS AND SITE CONDITIONS PRIOR TO COMMENCING WORK OR ORDERING ANY MATERIAL, AND SHALL REPORT AND DISCREPANCIES THAT AFFECT DESIGN TO WOOD CREEK IMMEDIATELY
3. ALL FRAMING MATERIAL TO BE S.P.F. #2 OR BETTER WITH THE EXCEPTION OF WALL STUDS
4. CONCRETE FOOTINGS AND WALLS TO BE A MINIMUM 28MPA @28 DAYS. FLOOR SLABS AND SIDEWALKS TO BE MINIMUM 32MPA @ 28 DAYS.
5. ALL CONCRETE FOOTINGS TO BE PLACED ON ORIGINAL UNDISTURBED GROUND, FREE OF ALL ORGANIC, FROZEN OR FROSTY MATERIAL.
6. DAMP PROOF FOUNDATION WALLS BELOW GRADE WITH 2 COATS OF BITUMINOUS MATERIAL.
7. 6 MIL. ULTRAVIOLET RESISTANT POLY VAPOUR BARRIER ON A.) 4" OF GRANULAR COMPACTABLE FILL UNDER EXTERIOR OR GARAGE SLABS. OR B.) 4" OF 3/4" DRAIN ROCK OR OTHER MATERIAL SUITABLE FOR MOVEMENT OF RADON GAS UNDER INTERIOR SLABS.
8. ALL FOUNDATION DRAINS TO BE 4" PERFORATED P.V.C. WITH FILTER CLOTH AND MINIMUM 6" DRAIN ROCK, DRAINED TO MUNICIPAL SERVICES ACCORDING TO LOCAL STANDARDS.
9. GRADE TO BE SLOPED AWAY FROM BUILDING AT ALL LOCATIONS ADJACENT TO BUILDING.
10. ALL TRUSSES I-JOISTS, BEAMS OR OTHER STRUCTURAL MEMBERS NOT COVERED IN B.C. BUILDING CODE TO BE DESIGNED AND ENGINEERED BY TRUSS MANUFACTURER OR STRUCTURAL ENGINEER PRIOR TO ANY FABRICATION.
11. CONTRACTOR TO VERIFY ALL PROPERTY AND FOUNDATION LINES WITH A LEGAL LAND SURVEYOR PRIOR TO PLACING FOOTINGS OR RUNNING SERVICES WITHIN BUILDING ENVELOPE.
12. ALL ROOF SPACES TO BE VENTILATED WITH SOFFIT AND ROOF VENTS WITH A MINIMUM DISTRIBUTION AREA OF 1/300. A MINIMUM OF 25% OF VENTS TO BE LOCATED AT ROOF. MINIMUM 25% TO BE LOCATED AT SOFFIT.
13. DOOR FRAMES AT ENTRANCES AND EXTERIOR SPACES TO DWELLING UNITS SHALL BE SOLIDLY BLOCKED BETWEEN DOOR FRAME AND STUDS AT THE HEIGHT OF THE DEADBOLT TO RESIST SPREADING.
14. ALL GLASS IN DOORS, SIDELITES OR WINDOWS WITHIN 12" OF FINISHED FLOOR TO BE CONSTRUCTED OF SAFETY GLASS.
15. RAIN WATER LEADERS NOT SHOWN ON PLAN . CONTRACTOR TO DETERMINE EXACT LOCATION SUITABLE TO SITE AND MUNICIPAL DRAINAGE.
16. ELECTRICAL LOCATIONS TO BE DETERMINED BY ELECTRICAL CONTRACTOR WITH THE APPROVAL OF THE HOME OWNER OR GENERAL CONTRACTOR AND IN ACCORDANCE WITH CURRENT ELECTRICAL CODE.
17. APPROVED SMOKE ALARMS TO BE INSTALLED WITH LOCATION APPROVED BY APPROPRIATE LOCAL MUNICIPALITY.
18. REFER TO LAOUTS AND SPECIFICATIONS FROM STRUCTURAL ENGINEER, FLOOR JOIST SUPPLIER, AND ROOF TRUSS MANUFACTURER FOR BEAM, POST, FOOTING LOCATIONS AND SIZES. ENSURE PROPER BEARING IS PROVIDED FOR ALL POINT LOADS. ANY STRUCTURAL SPECIFICATIONS SHOWN ON WOOD CREEK PLANS ARE ESTIMATES ONLY AND MAY NOT ACCURATELY REPRESENT LOADING AND SIZING, OR MAY NOT INCLUDE POINT LOADS OR STRUCTURAL MEMBERS DESIGNED BY OTHERS.

NOTE: ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL CODES AND BYLAWS. DESIGN OF FOUNDATION AND FOOTINGS TO BE MODIFIED TO SUIT LOCAL SOIL CONDITIONS AS REQUIRED
DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE. THIS DRAWING IS THE PROPERTY OF WOOD CREEK CONSTRUCTION AND MAY BE USED ONLY FOR THE PURPOSE FOR WHICH IT IS LOANED BY THE COMPANY

1	MAY 2220	Deck revised to 12' deep
2	JUNE 2020	WINDOW SIZE CHANGES

NO.	DATE	DESCRIPTION
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REVISIONS

Wood Creek Construction Ltd.
-Building with Confidence-

LEGAL DESCRIPTION

LOT 34, SEC 12, TP 20, R 10, W6M KDYD, Plan EPP69286
1181 - 17 AVE SE

PROJECT NO.

CUSTOMER
WINTERS

SHEET TITLE
SITE PLAN & GENEREAL NOTES

DATE
JUNE 26/2020

SCALE
3/32"=1'

DRAWN
PC

CHECKED
XX

SHEET NUMBER
A-1

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REVISIONS



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LOT 34, SEC 12, TP 20, R 10, W6M
KDYD, Plan EPP69286
1181 - 17 AVE SE

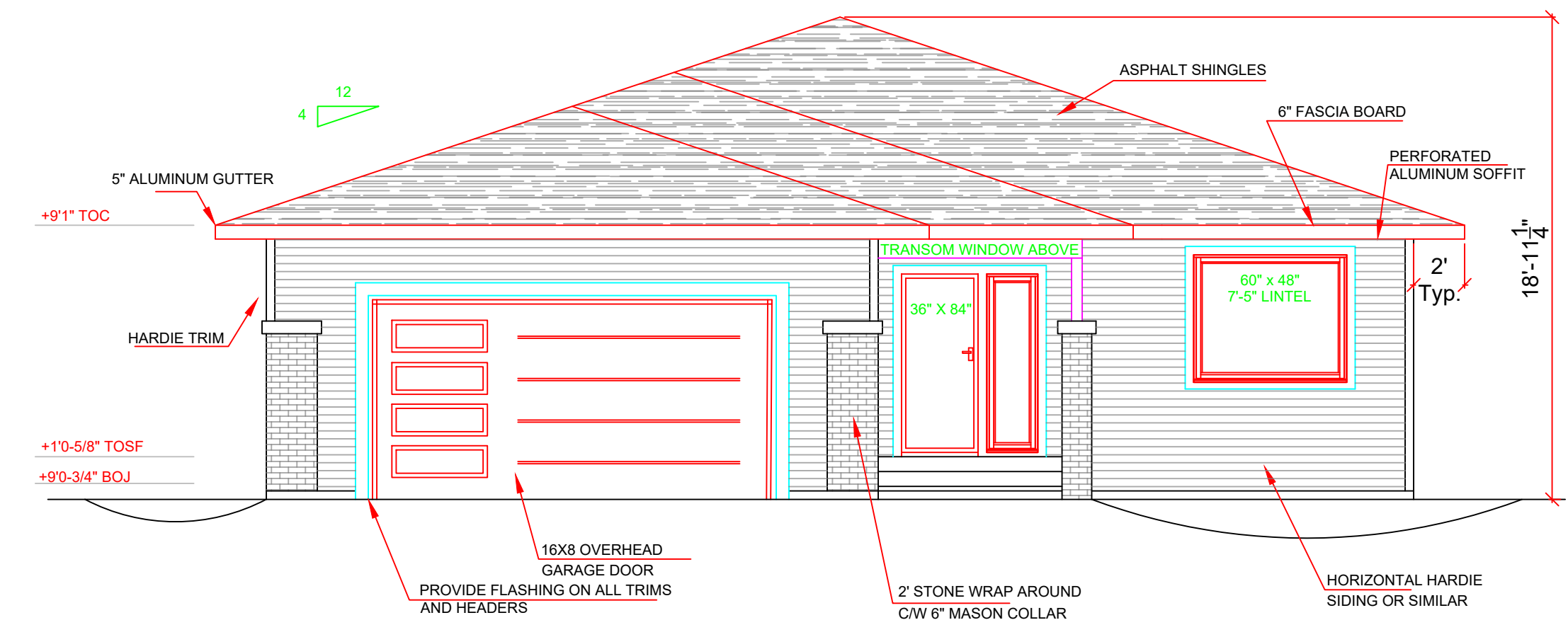
PROJECT NO.

CUSTOMER
WINTERS

SHEET TITLE

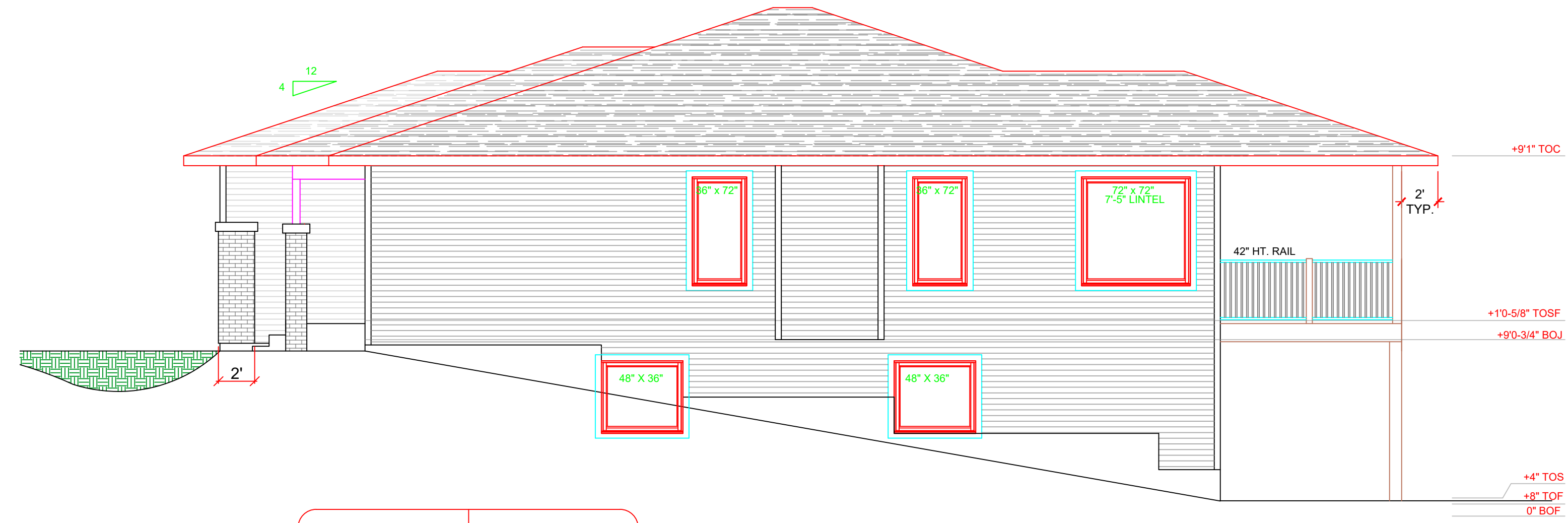
ELEVATIONS

DATE	JUNE 26/2020	SHEET NUMBER	A-2
SCALE	3/16"=1'		
DRAWN	PC		
CHECKED	XX		



GLAZING CALCULATIONS	
WALL AREA (E.B.F.)	460 sq ft [42.73 sq m]
WINDOW AREA	68 sq ft [7.49 sq m]
RATIO	14.7%
ALLOWABLE	100%
LIMITING DISTANCE	16m [to center of road]

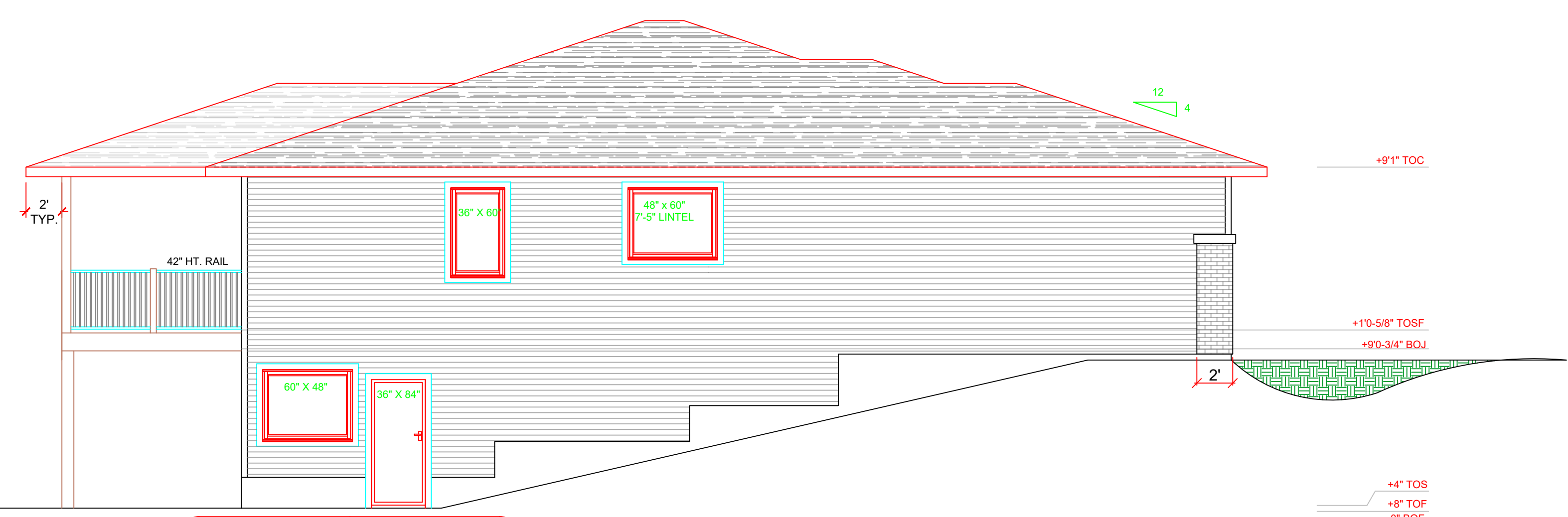
FRONT ELEVATION



GLAZING CALCULATIONS		LEFT
WALL AREA	677 sq ft [62.89 sq m]	
WINDOW AREA	108 sq ft [10.0 sq m]	
RATIO	15.9%	
ALLOWABLE	57%	
LIMITING DISTANCE	6-13.5m [to prop line]	

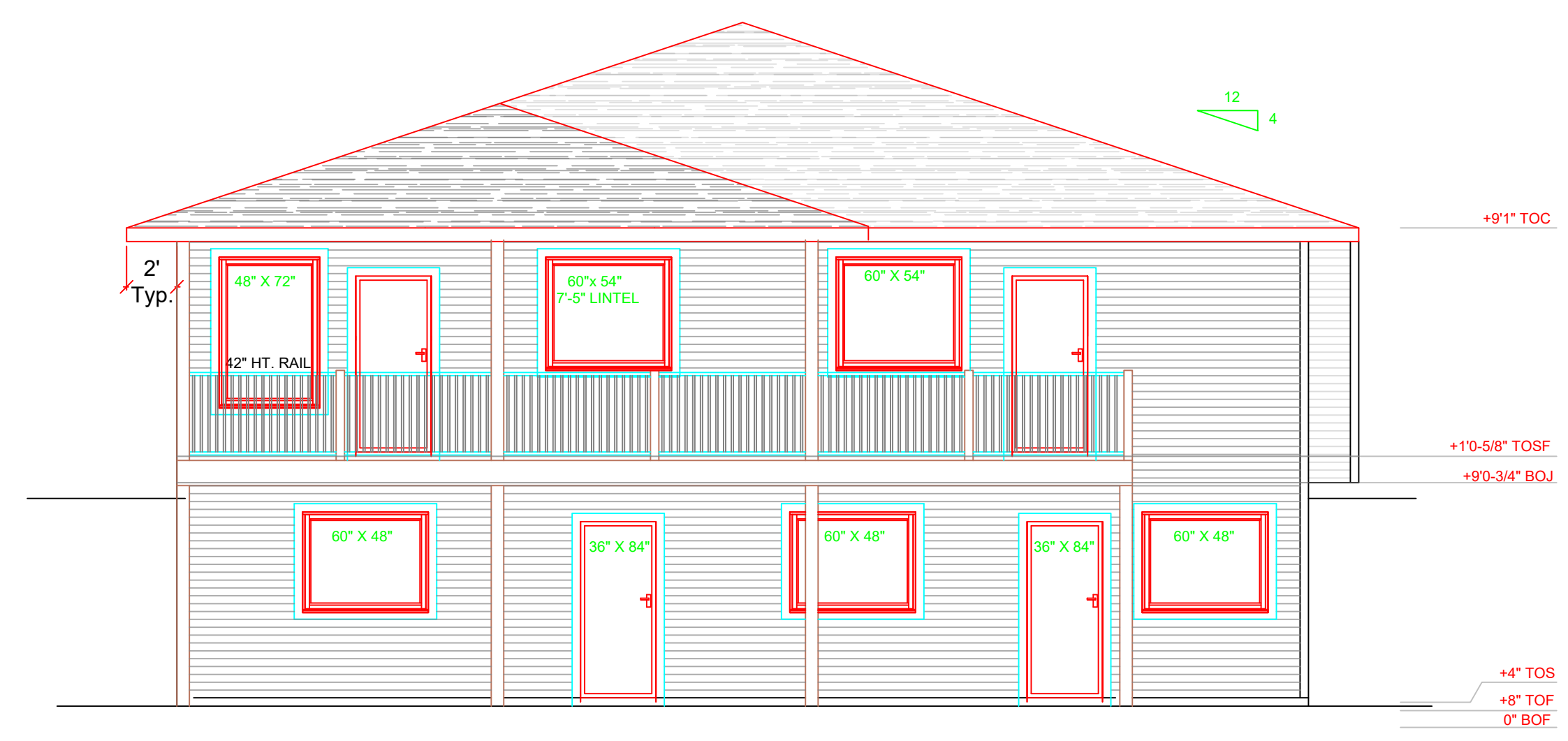
RIGHT ELEVATION

CONSTRUCTION OPTIONS
NO H.R.V. INSTALLED
NO SPRINKLER SYSTEM
CONC. FOUNDATION &
FRAMED WALLS



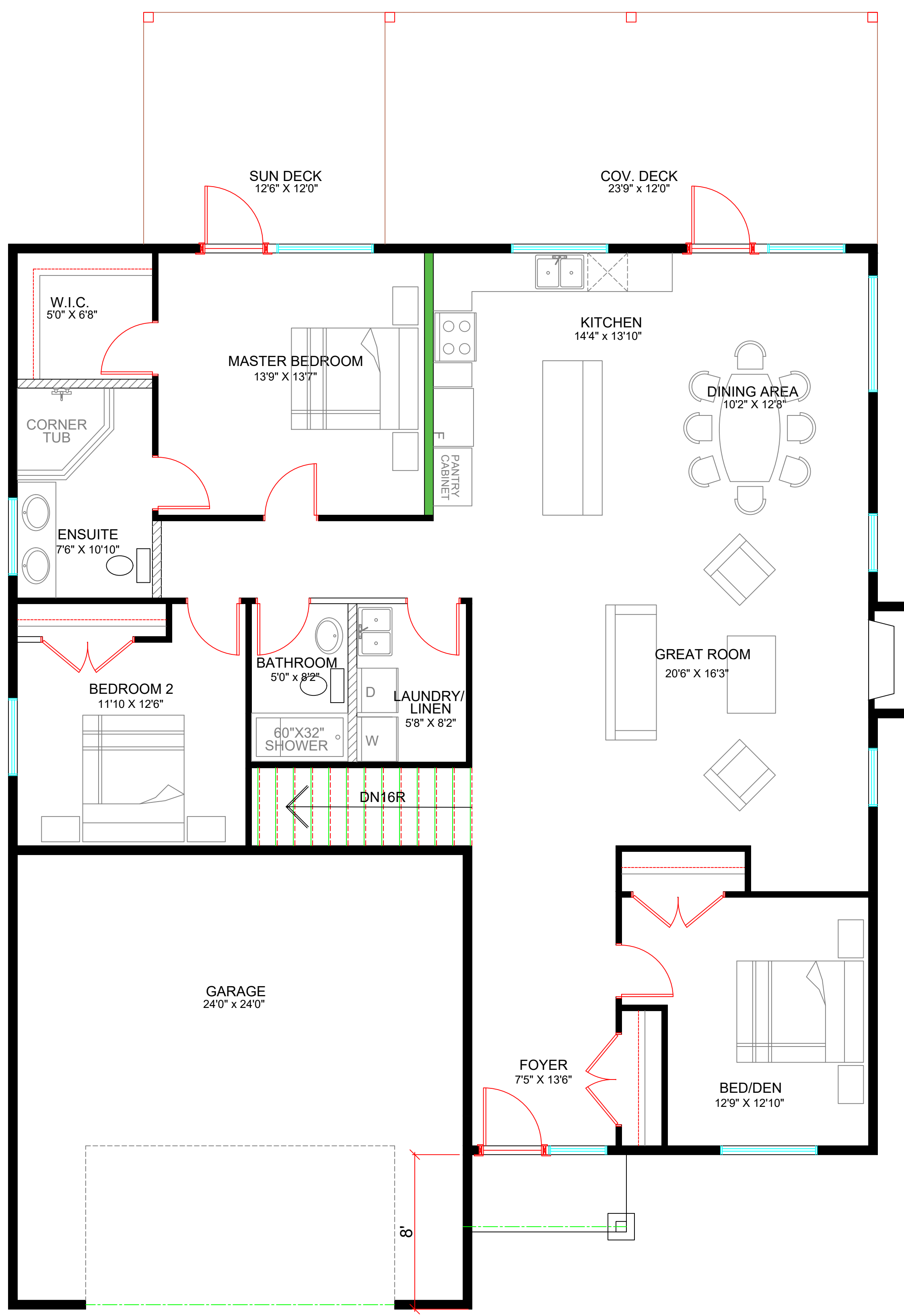
GLAZING CALCULATIONS	
WALL AREA	805 sq ft [74.79 sq m]
WINDOW AREA	74.5 sq ft [6.91 sq m]
RATIO	9.2%
ALLOWABLE	10%
LIMITING DISTANCE	2.11m [to prop line]

LEFT ELEVATION



GLAZING CALCULATIONS	
WALL AREA (E.B.F.)	831.5 sq ft [77.24 sq m]
WINDOW AREA	234.5 sq ft [21.78 sq m]
RATIO	28%
ALLOWABLE	100%
LIMITING DISTANCE	15.11m [to center of road]

REAR ELEVATION



- SAFE & SOUND INSULATION
- PLUMB WALL
- L.B. WALL

FLOOR NOTES

1. FRAMED EXTERIOR WALLS DOES NOT INCLUDE EXTERIOR SHEATHING.
2. ALL DIMENSIONS SHOWN ARE TO FRAMING AND DO NOT INCLUDE DRYWALL OR OTHER FINISHES
3. ALL HEADERS TO BE 3-2X10 IN 2X6 WALLS AND 2-2X10 IN 2X4 WALLS UNLESS NOTED OTHERWISE
4. ALL DOORS AND WINDOWS FRAMED 4-1/2" FROM ADJACENT WALLS UNLESS NOTED OTHERWISE
5. ALL DOOR SLABS TRO MEASURE 80" IN HEIGHT UNLESS OTHERWISE NOTED
6. INDIVIDUAL ROOM AREAS ARE CALCULATED FROM INSIDE OF FRAMING WHEREAS THE OVERALL FLOOR AREA IS CALCULATED TO OUTSIDE EXTERIOR WALLS

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2	JUNE 20/20	WINDOW SIZE CHANGES

NO.	DATE	DESCRIPTION
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REVISIONS



LEGAL DESCRIPTION

LOT 34, SEC 12, TP 20, R 10, W6M
 KDYD, Plan EPP69286
 1181 - 17 AVE SE

PROJECT NO.

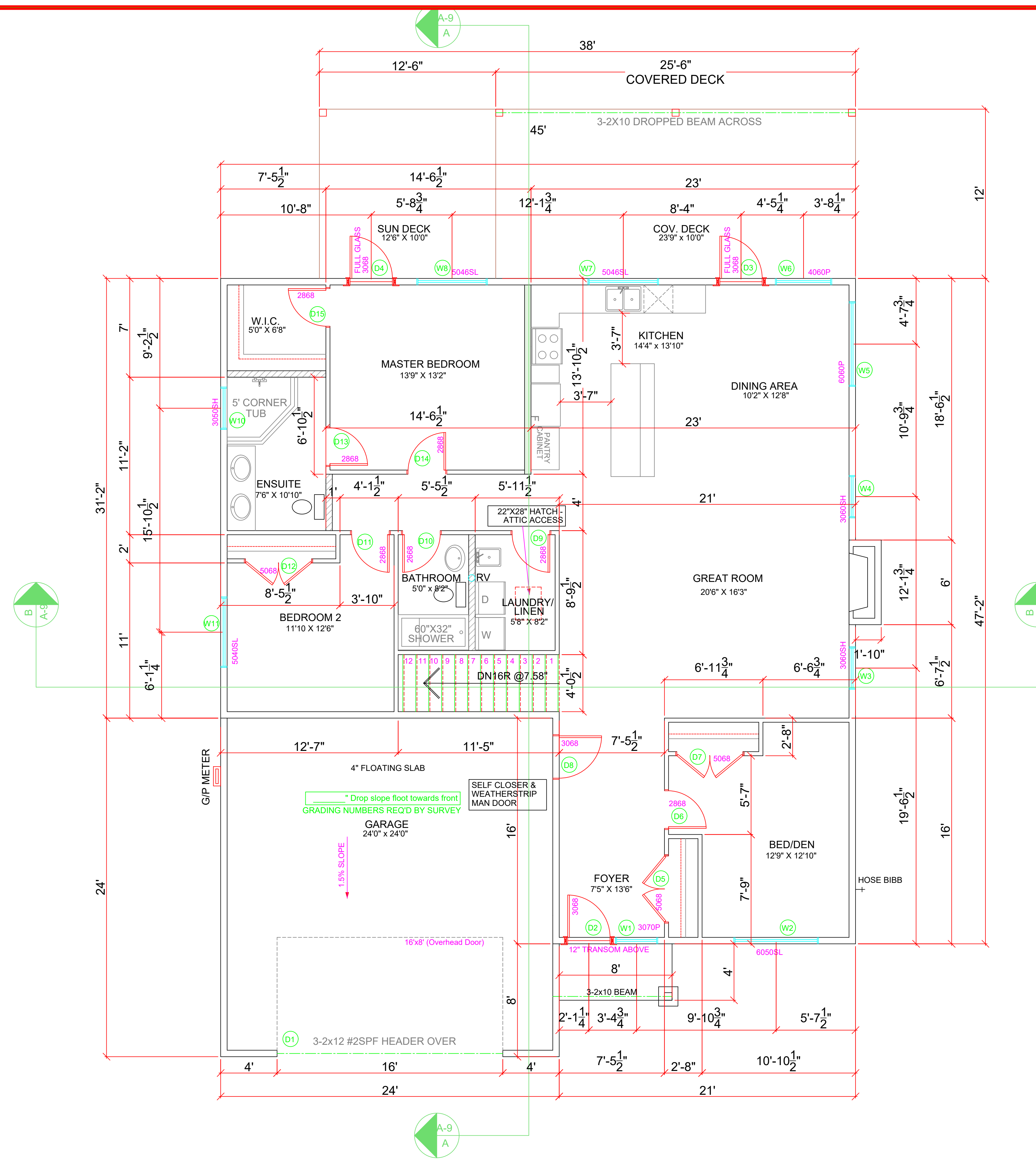
CUSTOMER
WINTERS

SHEET TITLE
MAIN FLOOR LAYOUT

DATE JUNE 26/2020	SHEET NUMBER A-3
SCALE 1/4"=1'	
DRAWN PC	
CHECKED XX	

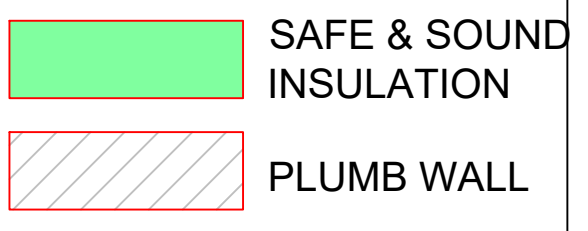
MAIN FLOOR 1717 SQ. FT.
 Garage - 532 SQ FT.
 Deck/Porch Area - 380 SQ FT.
 9' Ceilings





WINDOW/DOOR LEGEND

PICTURE - P
 AWNING - A
 HORIZONTAL SLIDER - SL
 SINGLE HUNG - SH



- FLOOR NOTES**
1. FRAMED EXTERIOR WALLS INCLUDE EXTERIOR SHEATHING.
 2. ALL DIMENSIONS SHOWN ARE TO FRAMING AND DO NOT INCLUDE DRYWALL OR OTHER FINISHES
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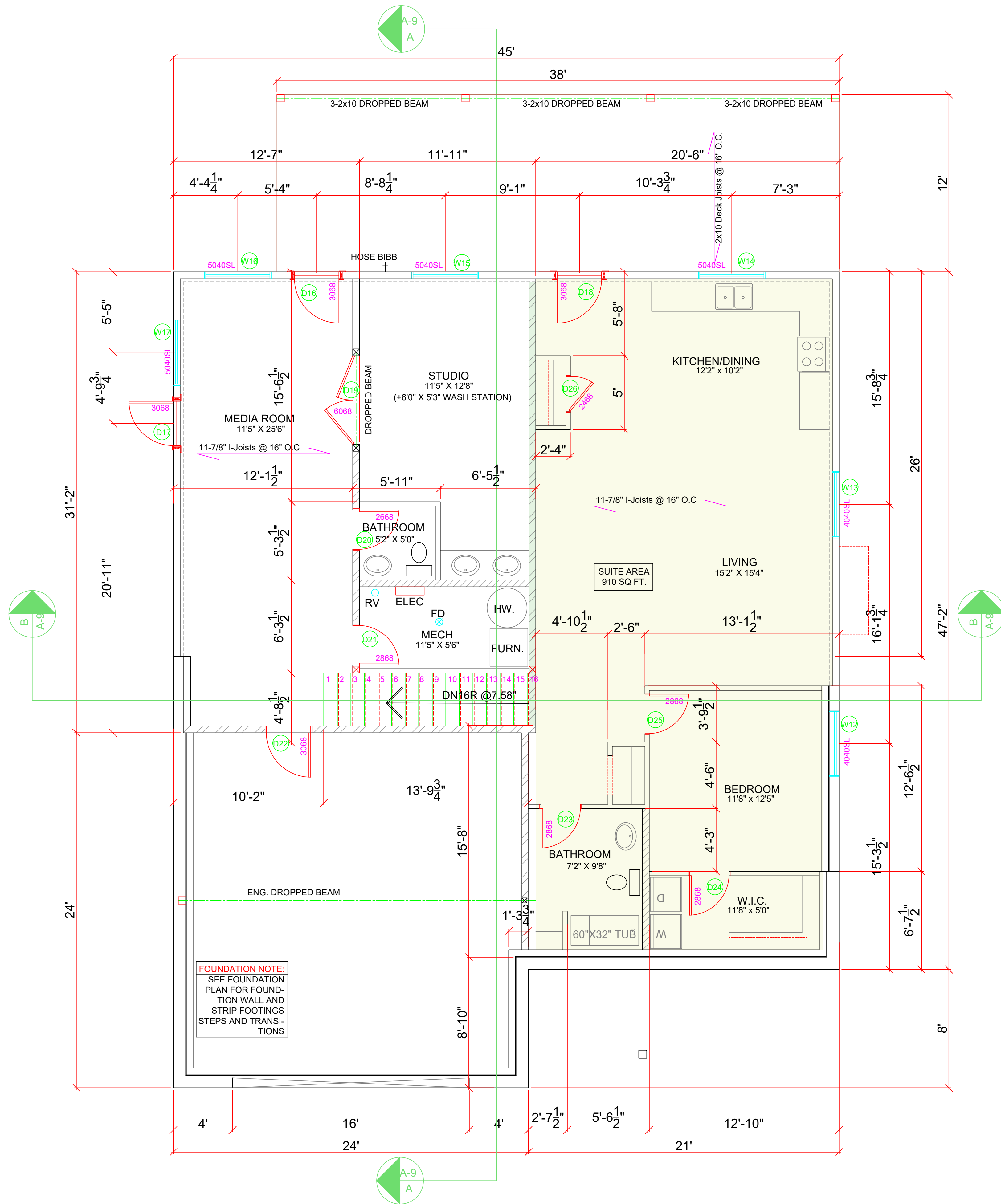
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 1181 - 17 AVE SE

PROJECT NO.

CUSTOMER
WINTERS

SHEET TITLE
MAIN FLOOR PLAN

DATE JUNE 26/2020	SHEET NUMBER A-4
SCALE 1/4"=1'-0"	
DRAWN PC	
CHECKED XX	



WINDOW/DOOR LEGEND

Picture - P	Picture Window
Awning - A	Awning Window
Horizontal Slider - SL	Horizontal Slider Window
Single Hung - SH	Single Hung Window

- SAFE & SOUND INSULATION
- PLUMB WALL
- L.B. WALL

- FLOOR NOTES**
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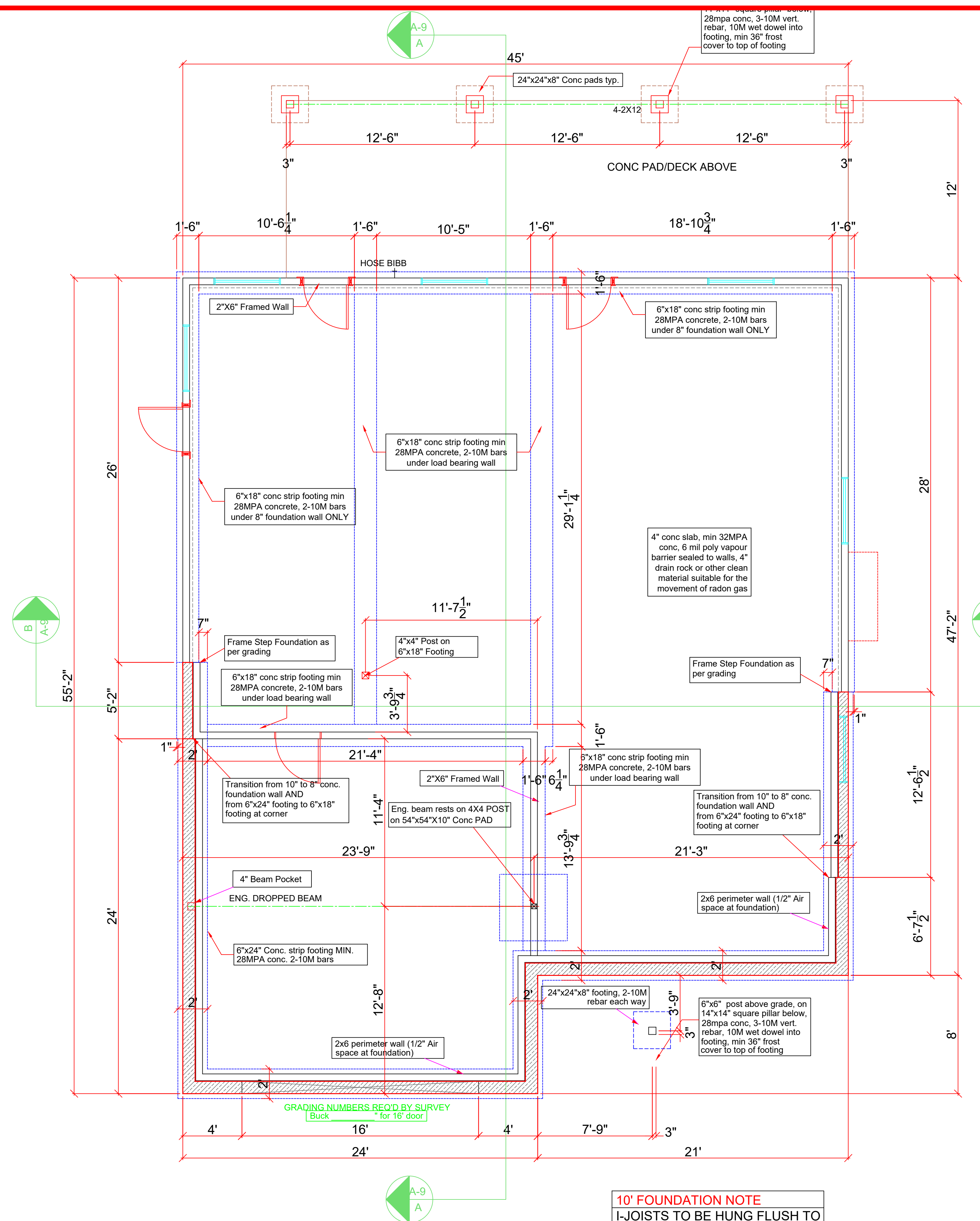
NO.	DATE	DESCRIPTION



LEGAL DESCRIPTION
LOT 34, SEC 12, TP 20, R 10, W6M
KDYD, Plan EPP69286
1181 - 17 AVE SE

PROJECT NO.
CUSTOMER
WINTERS
SHEET TITLE
BASEMENT PLAN

DATE
JUNE 26/2020
SCALE
1/4"=1'
DRAWN
PC
CHECKED
XX
SHEET NUMBER
A-6



WINDOW/DOOR LEGEND

- PICTURE - P
- AWNING - A
- HORIZONTAL SLIDER - SL
- SINGLE HUNG - SH

- SAFE & SOUND INSULATION
- PLUMB WALL
- LOAD BEARING WALL
- 1' HIGHER FOUNDATION

FLOOR NOTES

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Building with Confidence

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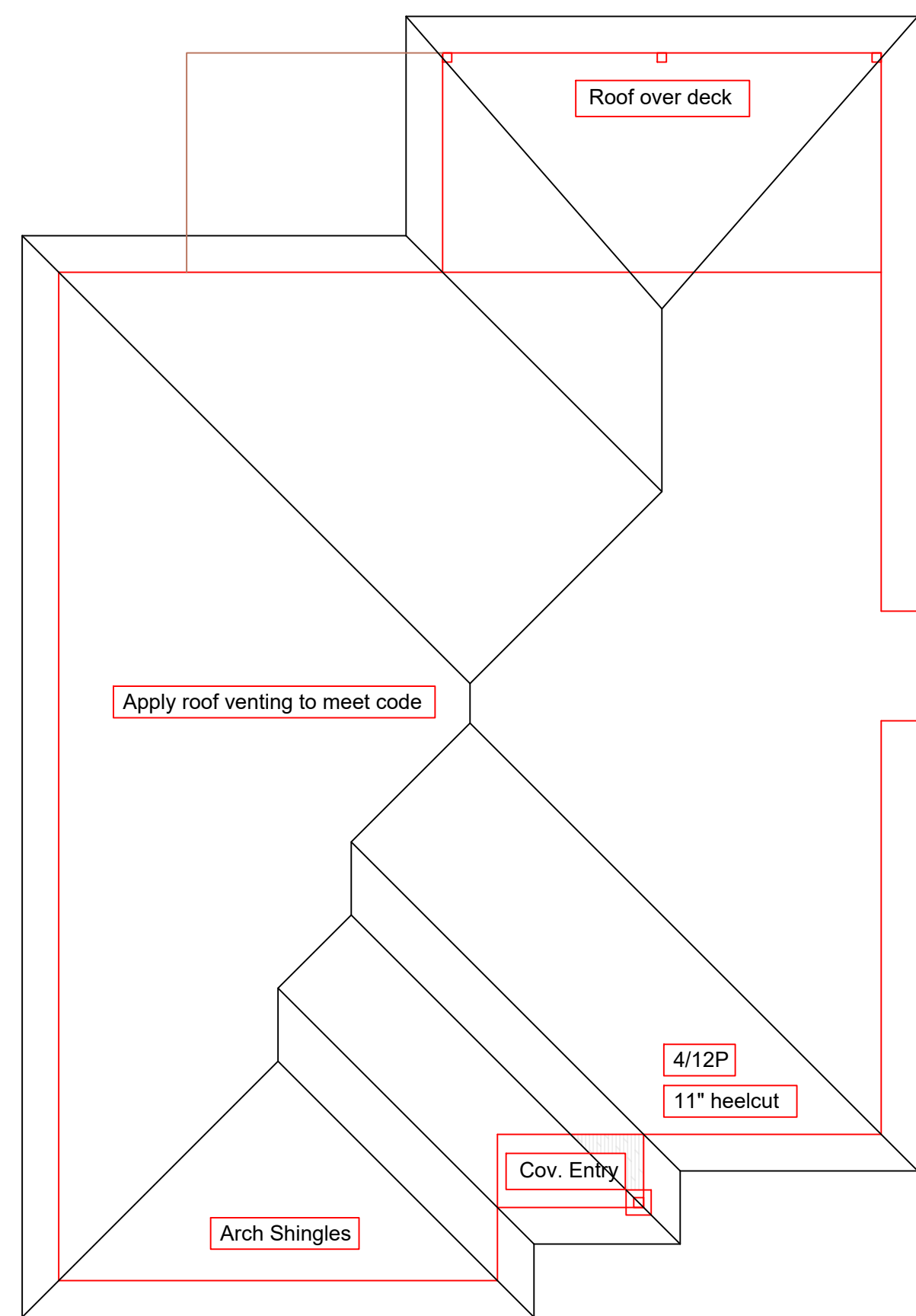
PROJECT NO.

CUSTOMER
WINTERS

SHEET TITLE
FOUNDATION PLAN

DATE JUNE 26/2020	SHEET NUMBER A-7
SCALE 1/4"=1'-0"	
DRAWN PC	
CHECKED XX	

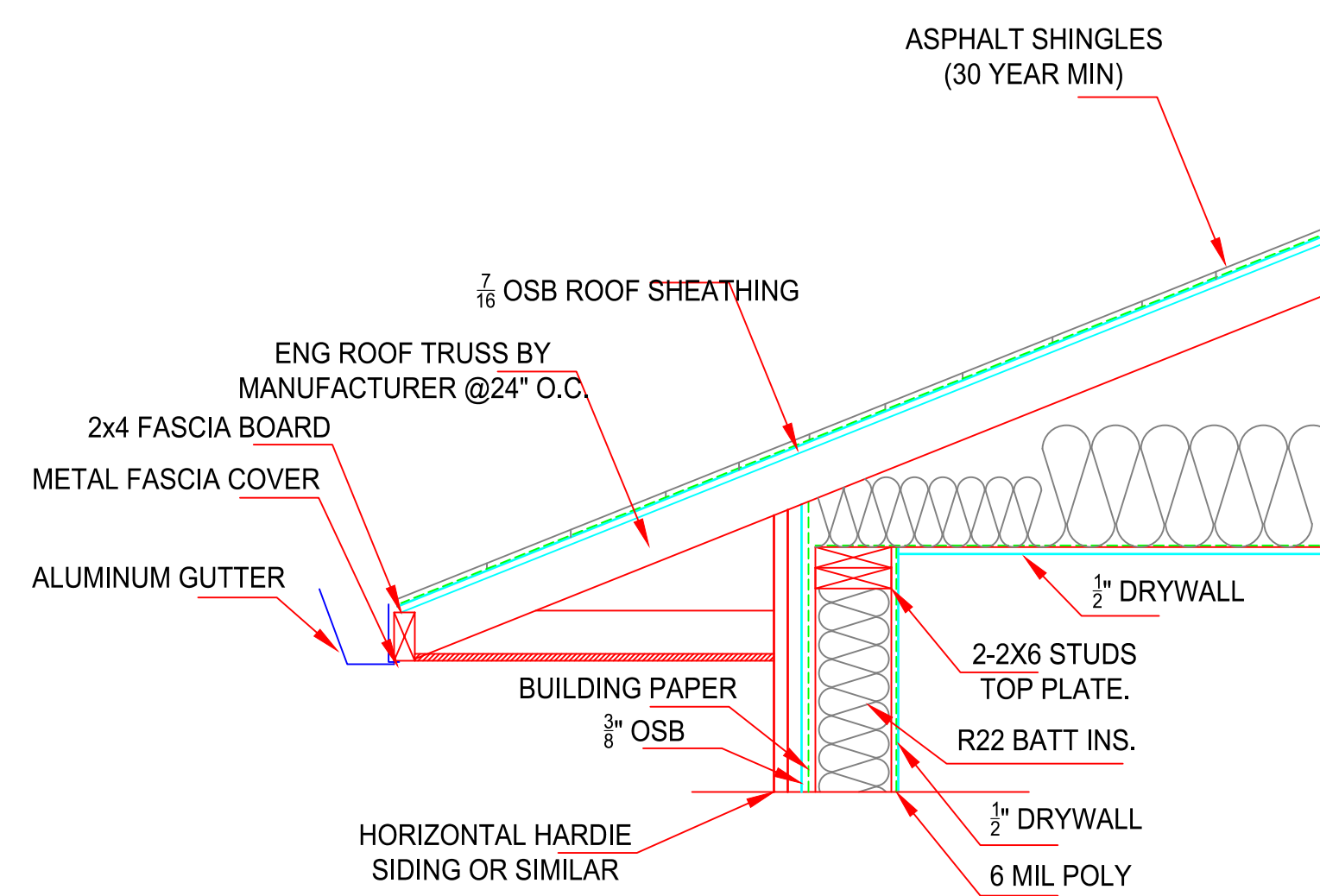
10' FOUNDATION NOTE
I-JOISTS TO BE HUNG FLUSH TO TOP OF FOUNDATION WALL, RESTING ON FRAMED WALL



- 24" O/H Except where noted
- Rafter system to be engineered
- 1x6 T&G pine board soffits in deck roof areas
- Balance of house c/w vented aluminum soffit

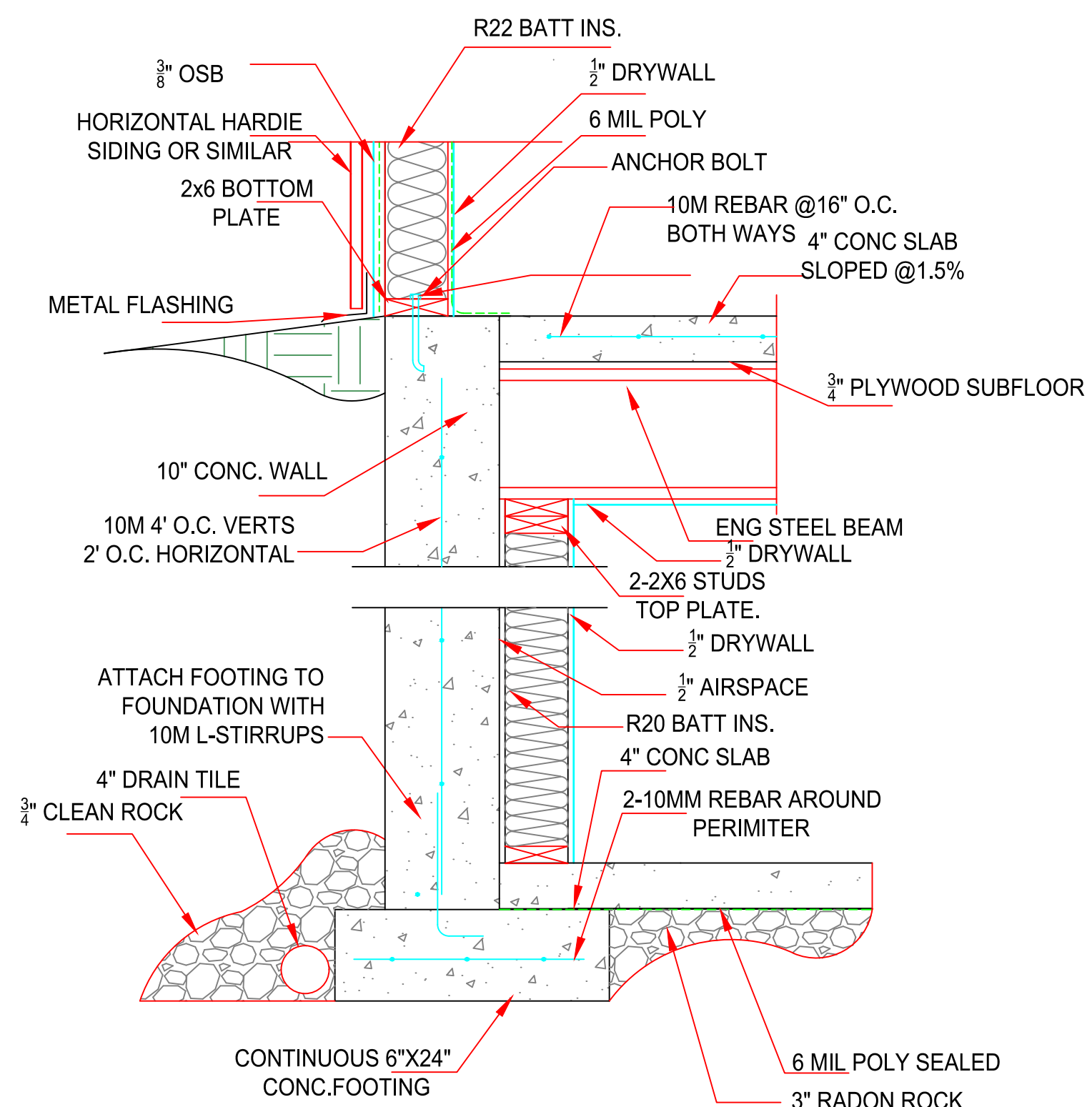
Roof Plan

SCALE: 1/8" = 1'-0"

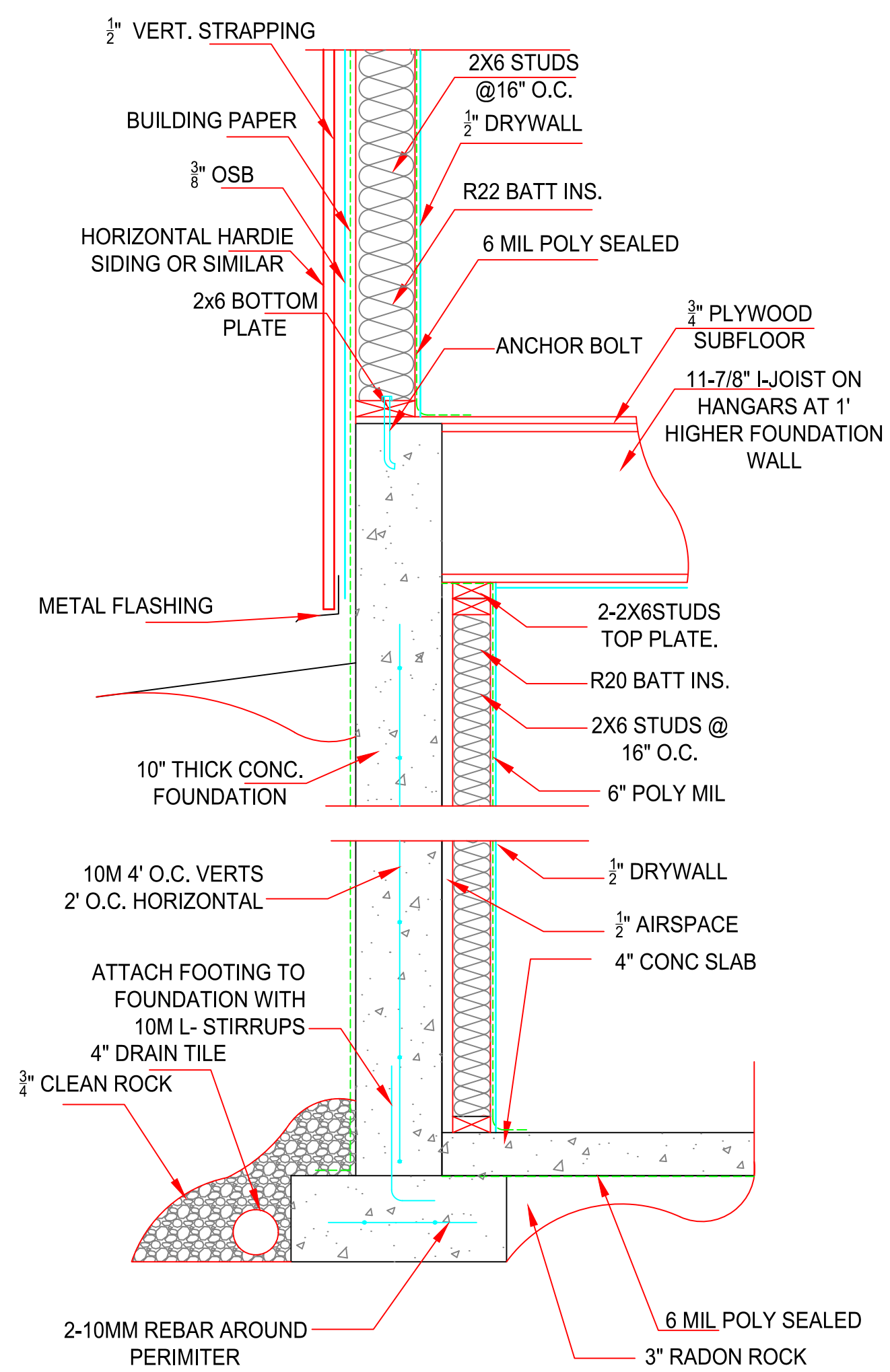


Roof Connection

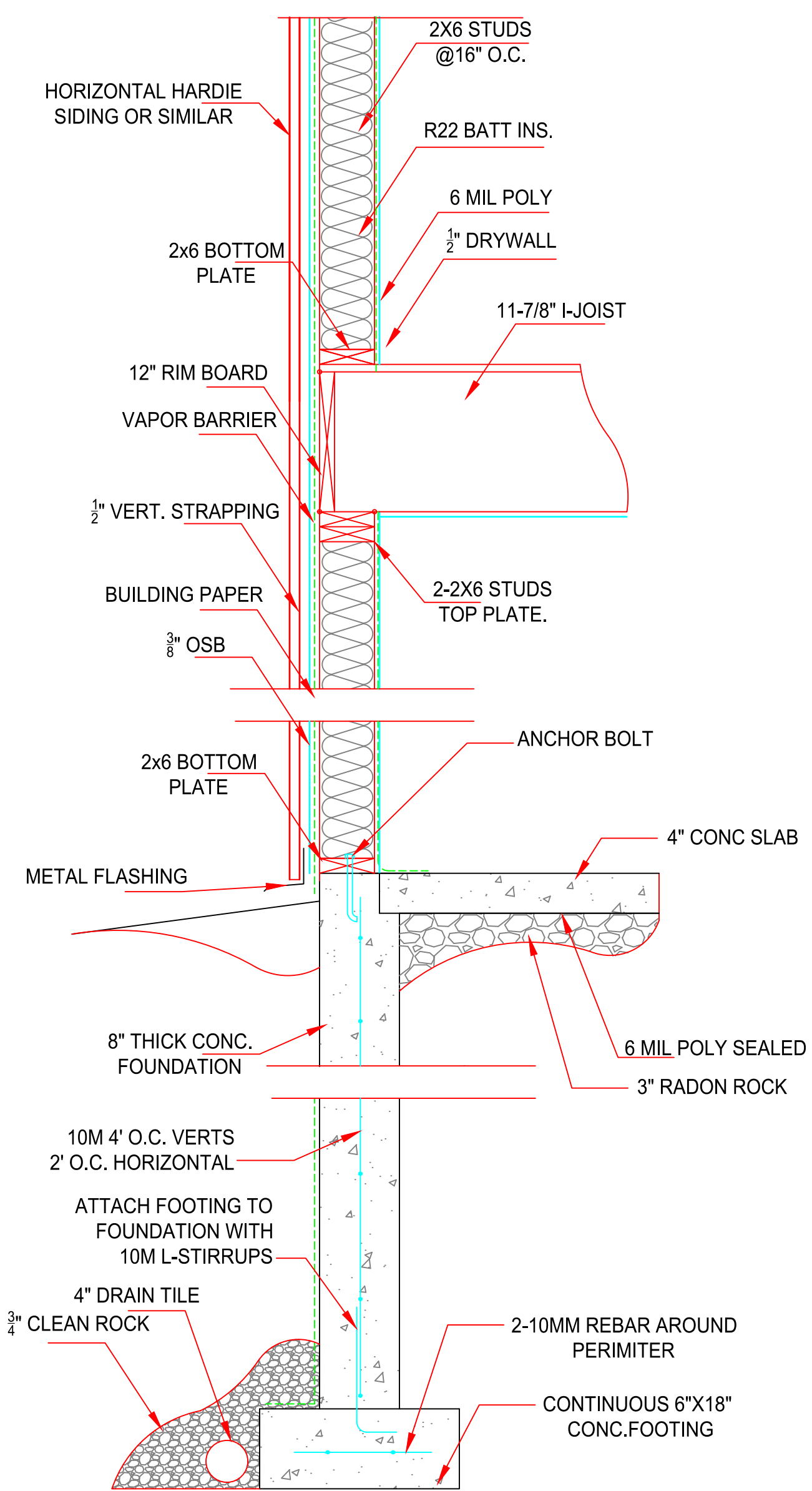
Scale: 1" - 1'-0"



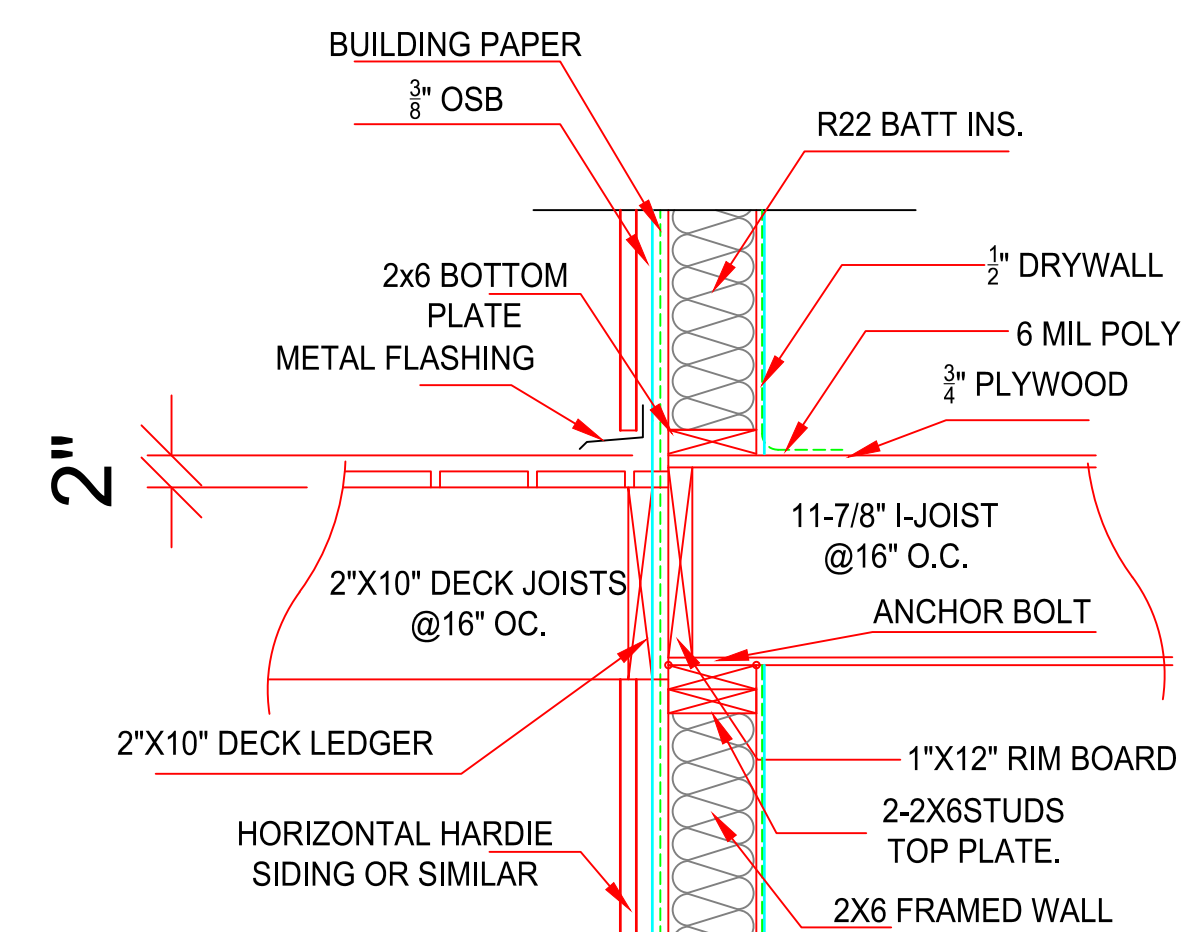
Garage/Suspended Slab Scale: 1" - 1'-0"



Grade Level @ 10" wall Scale: 1" - 1'-0"



Walkout Level Scale: 1" - 1'-0"



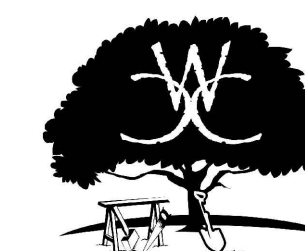
Deck Detail Scale: 1" - 1'-0"

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-Building with Confidence-

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PROJECT NO.

CUSTOMER

WINTERS

SHEET TITLE

ROOF PLAN/
DETAILS

DATE

SHEET NUMBER

JUNE 26/2020

SCALE

VARIES

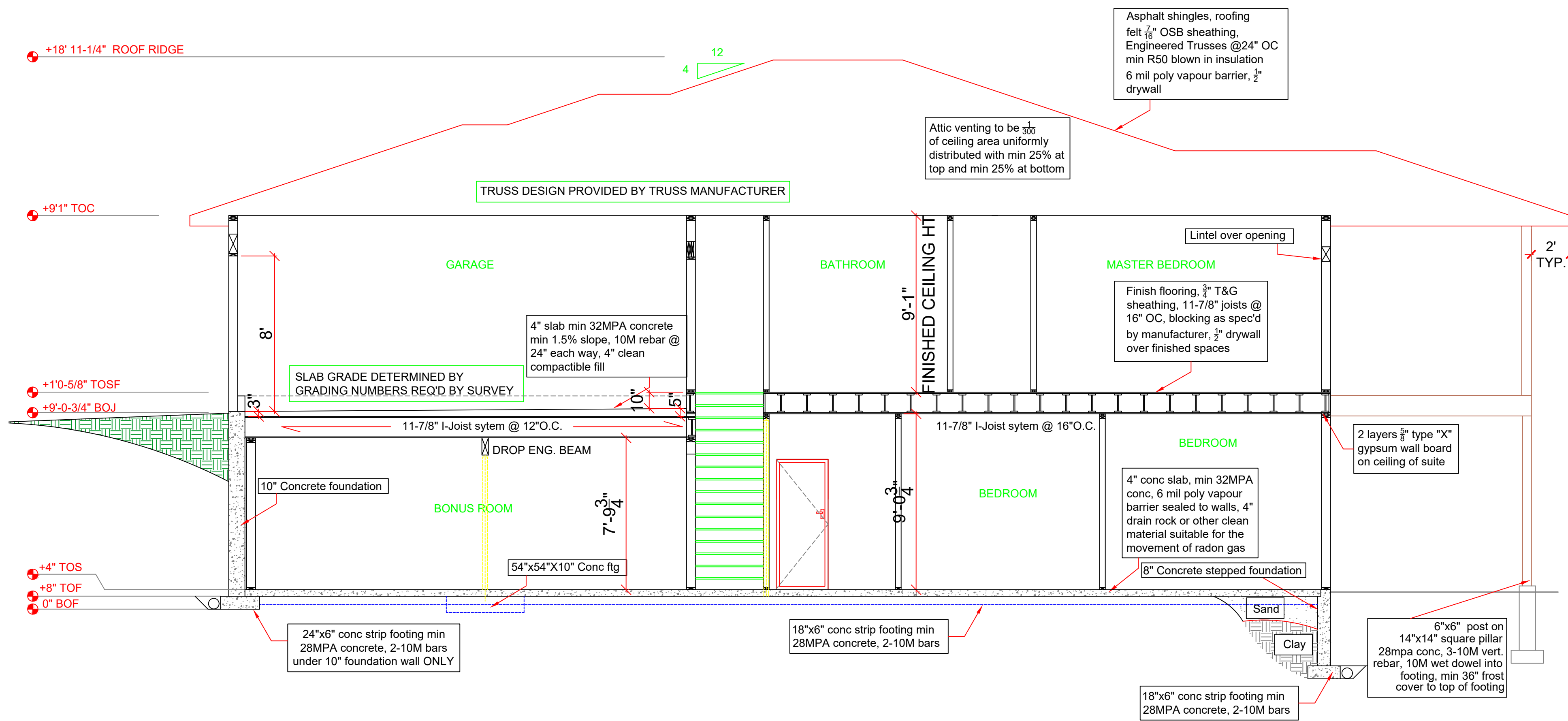
DRAWN

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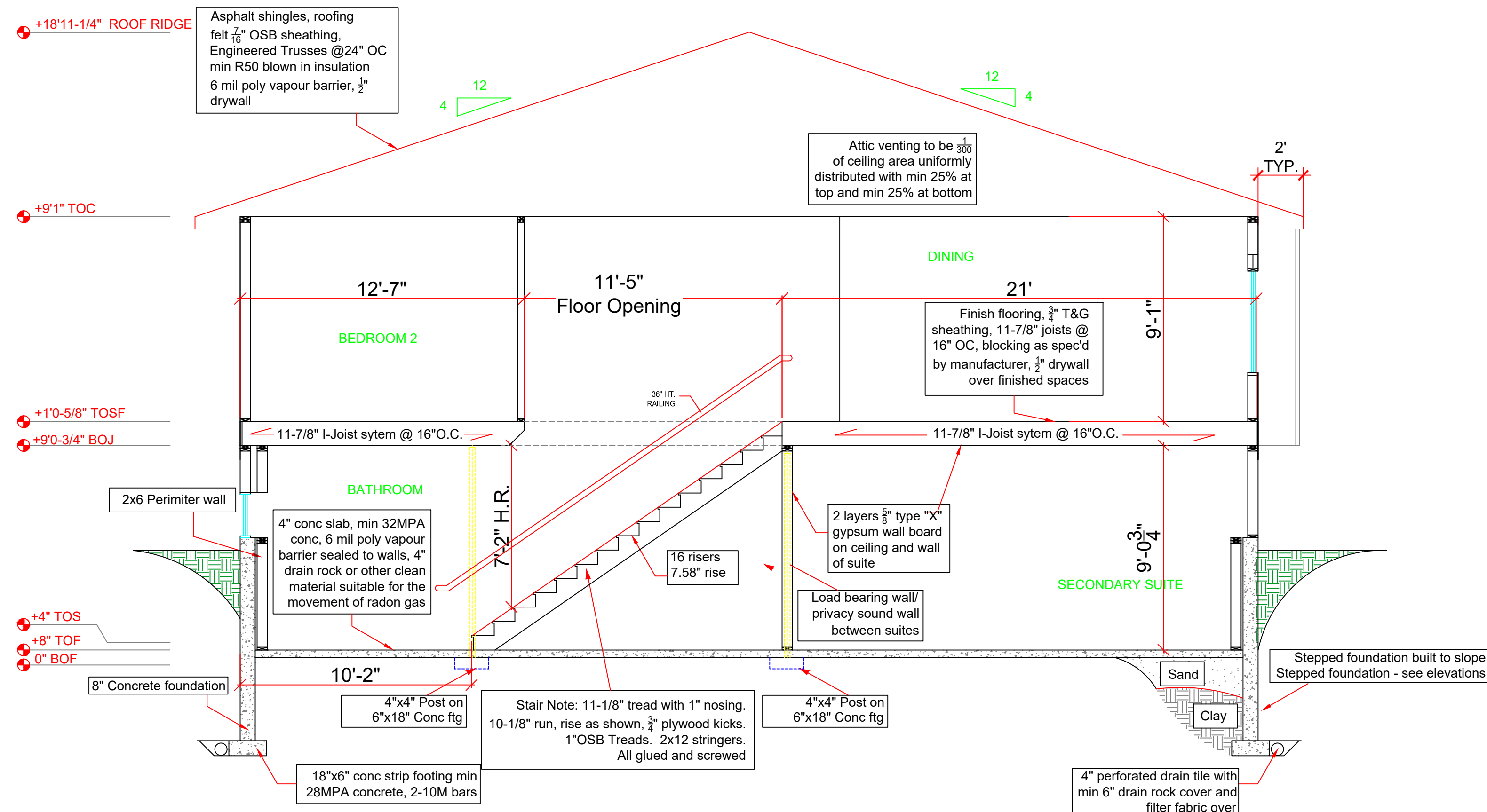
CHECKED

XX

A-8



CROSS SECTION - A



CROSS SECTION - B

WINDOW SCHEDULE						
MARK			SASH OPERATION	RO WIDTH	RO HEIGHT	COMMENTS
W	1	3070	PICTURE	3'0"	7'0"	
W	2	6050	SLIDER	6'0"	5'0"	
W	3	3060	SINGLE HUNG	3'0"	6'0"	
W	4	3060	SINGLE HUNG	3'0"	6'0"	
W	5	6060	PICTURE	6'0"	6'0"	
W	6	4060	PICTURE	6'0"	6'0"	
W	7	5046	SLIDER	5'0"	4'6"	
W	9	3060	SINGLE HUNG	3'0"	6'0"	
W	10	3050	SINGLE HUNG	3'0"	5'0"	
W	11	5040	SLIDER	5'0"	4'0"	
W	12	4040	SLIDER	4'0"	4'0"	
W	13	4040	SLIDER	4'0"	4'0"	
W	14	5040	SLIDER	5'0"	4'0"	
W	15	5040	SLIDER	5'0"	4'0"	
W	16	5040	SLIDER	5'0"	4'0"	
W	17	5040	SLIDER	5'0"	4'0"	

DOOR SCHEDULE							
MARK			DOOR OPERATION	RO WIDTH	RO HEIGHT	SIDE LITES	LOCATION
D	1	16080	OVERHEAD DOOR	16'	8'0"		GARAGE
D	2	3068	SWING SIMPLE	3'2-3/8"	8'0"		FRONT ENTRY
D	3	3068	SWING SIMPLE	3'2-3/8"	8'0"		REAR ENTRY
D	4	3068	SWING SIMPLE	3'2-3/8"	8'0"		M.B. DECK DOOR
D	5	5068	SWING BI PART	5'0"	6'11"		ENTRY CLOSET
D	6	2868	SWING SIMPLE	2'8"	6'11"		DEN
D	7	5068	SWING BI PART	5'0"	6'11"		DEN CLOSET
D	8	3068	SWING SIMPLE	3'2-3/8"	6'11"		GARAGE MAN DOOR
D	9	2868	SWING SIMPLE	2'8"	6'11"		LAUNDRY
D	10	2868	SWING SIMPLE	2'8"	6'11"		BATHROOM
D	11	2868	SWING SIMPLE	2'8"	6'11"		BEDROOM
D	12	5060	SWING BI PART	5'0"	6'11"		BEDROOM CLOSET
D	13	2868	SWING SIMPLE	2'8"	6'11"		ENSUITE
D	14	2868	SWING SIMPLE	2'8"	6'11"		MASTER
D	15	2868	SWING SIMPLE	2'8"	6'11"		W.I.C.
D	16	3068	SWING SIMPLE	3'2-3/8"	8'0"		BASEMENT ENTRY
D	17	3068	SWING SIMPLE	3'2-3/8"	8'0"		BASEMENT ENTRY
D	18	3068	SWING SIMPLE	3'2-3/8"	8'0"		SUITE ENTRY
D	19	6068	SWING SIMPLE	6'0"	6'11"		STUDIO ROOM
D	20	2668	SWING SIMPLE	2'6"	6'11"		BASEMENT BATH
D	21	2868	SWING SIMPLE	2'8"	6'11"		MECH
D	22	3068	SWING SIMPLE	3'2-3/8"	6'11"		DOOR BELOW GARAGE
D	23	2868	SWING SIMPLE	2'8"	6'11"		SUITE BATH
D	24	2868	SWING SIMPLE	2'8"	6'11"		SUITE W.I.C.
D	25	2868	SWING SIMPLE	2'8"	6'11"		SUITE BEDROOM
D	26	2468	SWING SIMPLE	2'4"	6'11"		SUITE CLOSET

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REVISIONS



LEGAL DESCRIPTION
LOT 34, SEC 12, TP 20, R 10, W6M
KDYD, Plan EPP69286
1181 - 17 AVE SE

PROJECT NO.
CUSTOMER
WINTERS

SHEET TITLE
SECTIONS & WINDOW/DOOR SCHEDULES

DATE
JUNE 26/2020
SCALE
3/16"=1'
DRAWN
PC
CHECKED
XX

SHEET NUMBER
A-9