

SHEET LEGEND
 A1 - SITE PLAN & NOTES
 A2 - ELEVATIONS
 A3 - MAIN FLOOR PLAN
 A4 - FOUNDATION PLAN
 A5 - ROOF & DETAILS
 A6 - SECTIONS & WINDOW/DOOR SCHEDULES

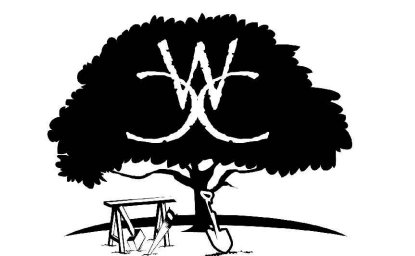
GENERAL NOTES

- ALL CONSTRUCTION MATERIALS & WORKMANSHIP TO BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE B.C. BUILDING CODE PLUMBING CODE, ELECTRICAL CODE, AND ALL OTHER CODES, ZONING, AND BYLAWS THAT MAY APPLY.
- THE CONTRACTOR AND ALL SUB-TRADES ARE RESPONSIBLE FOR THE REVIEW OF ALL DRAWINGS AND SITE CONDITIONS PRIOR TO COMMENCING WORK OR ORDERING ANY MATERIAL, AND SHALL REPORT AND DISCREPANCIES THAT AFFECT DESIGN TO WOOD CREEK IMMEDIATELY
- ALL FRAMING MATERIAL TO BE S.P.F. #2 OR BETTER WITH THE EXCEPTION OF WALL STUDS
- CONCRETE FOOTINGS AND WALLS TO BE A MINIMUM 28MPA @28 DAYS. FLOOR SLABS AND SIDEWALKS TO BE MINIMUM 32MPA @ 28 DAYS.
- ALL CONCRETE FOOTINGS TO BE PLACED ON ORIGINAL UNDISTURBED GROUND, FREE OF ALL ORGANIC, FROZEN OR FROSTY MATERIAL.
- DAMP PROOF FOUNDATION WALLS BELOW GRADE WITH 2 COATS OF BITUMINOUS MATERIAL.
- 6 MIL. ULTRAVIOLET RESISTANT POLY VAPOUR BARRIER ON A.) 4" OF GRANULAR COMPACTABLE FILL UNDER EXTERIOR OR GARAGE SLABS. OR B.) 4" OF 3/4" DRAIN ROCK OR OTHER MATERIAL SUITABLE FOR MOVEMENT OF RADON GAS UNDER INTERIOR SLABS.
- ALL FOUNDATION DRAINS TO BE 4" PERFORATED P.V.C. WITH FILTER CLOTH AND MINIMUM 6" DRAIN ROCK, DRAINED TO MUNICIPAL SERVICES ACCORDING TO LOCAL STANDARDS.
- GRADE TO BE SLOPED AWAY FROM BUILDING AT ALL LOCATIONS ADJACENT TO BUILDING.
- ALL TRUSSES I-JOISTS, BEAMS OR OTHER STRUCTURAL MEMBERS NOT COVERED IN B.C. BUILDING CODE TO BE DESIGNED AND ENGINEERED BY TRUSS MANUFACTURER OR STRUCTURAL ENGINEER PRIOR TO ANY FABRICATION.
- CONTRACTOR TO VERIFY ALL PROPERTY AND FOUNDATION LINES WITH A LEGAL LAND SURVEYOR PRIOR TO PLACING FOOTINGS OR RUNNING SERVICES WITHIN BUILDING ENVELOPE.
- ALL ROOF SPACES TO BE VENTILATED WITH SOFFIT AND ROOF VENTS WITH A MINIMUM DISTRIBUTION AREA OF 1/300. A MINIMUM OF 25% OF VENTS TO BE LOCATED AT ROOF. MINIMUM 25% TO BE LOCATED AT SOFFIT.
- DOOR FRAMES AT ENTRANCES AND EXTERIOR SPACES TO DWELLING UNITS SHALL BE SOLIDLY BLOCKED BETWEEN DOOR FRAME AND STUDS AT THE HEIGHT OF THE DEADBOLT TO RESIST SPREADING.
- ALL GLASS IN DOORS, SIDELITES OR WINDOWS WITHIN 12" OF FINISHED FLOOR TO BE CONSTRUCTED OF SAFETY GLASS.
- RAIN WATER LEADERS NOT SHOWN ON PLAN . CONTRACTOR TO DETERMINE EXACT LOCATION SUITABLE TO SITE AND MUNICIPAL DRAINAGE.
- ELECTRICAL LOCATIONS TO BE DETERMINED BY ELECTRICAL CONTRACTOR WITH THE APPROVAL OF THE HOME OWNER OR GENERAL CONTRACTOR AND IN ACCORDANCE WITH CURRENT ELECTRICAL CODE.
- APPROVED SMOKE ALARMS TO BE INSTALLED WITH LOCATION APPROVED BY APPROPRIATE LOCAL MUNICIPALITY.
- REFER TO LAOUTS AND SPECIFICATIONS FROM STRUCTURAL ENGINEER, FLOOR JOIST SUPPLIER, AND ROOF TRUSS MANUFACTURER FOR BEAM, POST, FOOTING LOCATIONS AND SIZES. ENSURE PROPER BEARING IS PROVIDED FOR ALL POINT LOADS. ANY STRUCTURAL SPECIFICATIONS SHOWN ON WOOD CREEK PLANS ARE ESTIMATES ONLY AND MAY NOT ACCURATELY REPRESENT LOADING AND SIZING, OR MAY NOT INCLUDE POINT LOADS OR STRUCTURAL MEMBERS DESIGNED BY OTHERS.

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 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE. THIS DRAWING IS THE PROPERTY OF PHOTOGRAPHY DESIGN AND MAY BE USED ONLY FOR THE PURPOSE FOR WHICH IT IS LOANED BY THE COMPANY

NO.	DATE	DESCRIPTION
1	JULY 10/20	CLIENT CHANGES
2	MAY 18/21	SITE PLAN
3	JUNE 9/21	ROOF PITCH

NO.	DATE	DESCRIPTION


Wood Creek
 Construction Ltd.
-Building with Confidence-

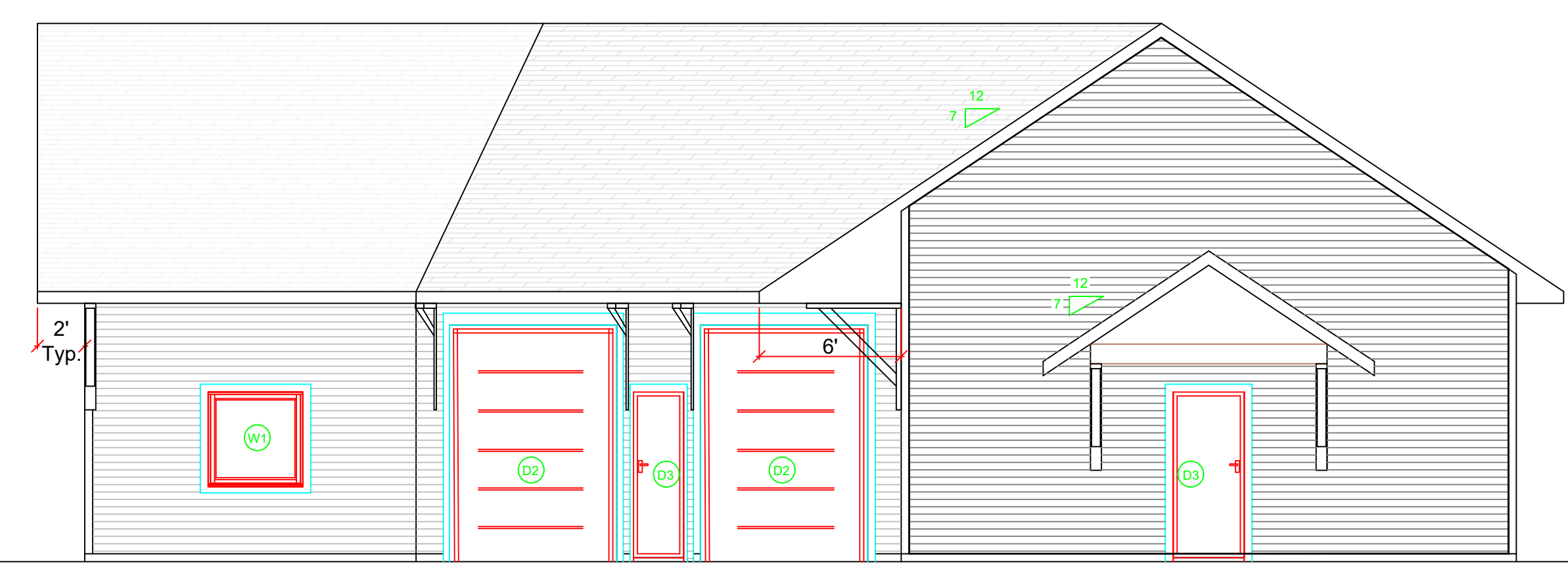
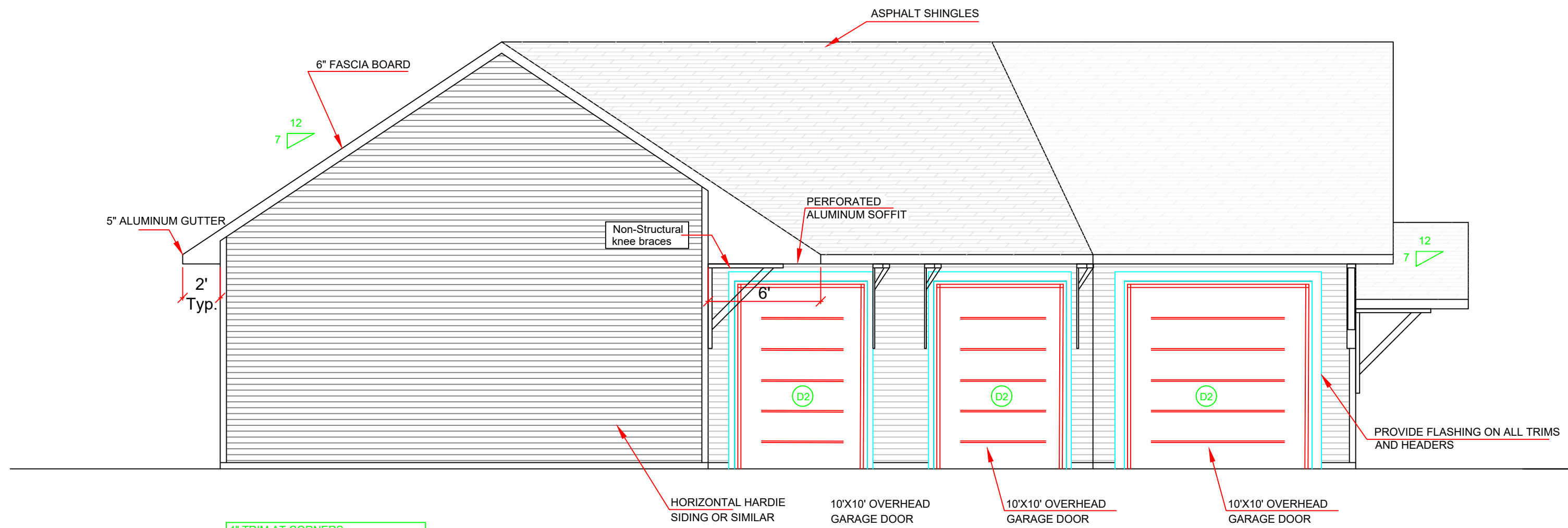
CIVIL ADDRESS
688 GRANDVIEW BENCH ROAD

PROJECT NO.
 CUSTOMER
STEVENS
 SHEET TITLE
SITE PLAN & GENERAL NOTES

DATE
 JUNE 9/21
 SCALE
 NTS
 DRAWN
 PC
 CHECKED
 XX
 SHEET NUMBER
A-1

NOTE: ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL CODES AND BYLAWS. DESIGN OF FOUNDATION AND FOOTINGS TO BE MODIFIED TO SUIT LOCAL SOIL CONDITIONS AS REQUIRED
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3	JUNE 9/21	ROOF PITCH



4" TRIM AT CORNERS
4" TRIM ON WINDOWS AND DOORS
STEPPED FOUNDATION & WINDOW WELLS - DETERMINED BY FINAL GRADE

GLAZING CALCULATIONS	
WALL AREA (E.B.F.)	
WINDOW AREA	
RATIO	
ALLOWABLE	100%
LIMITING DISTANCE	GREATER THAN 20M

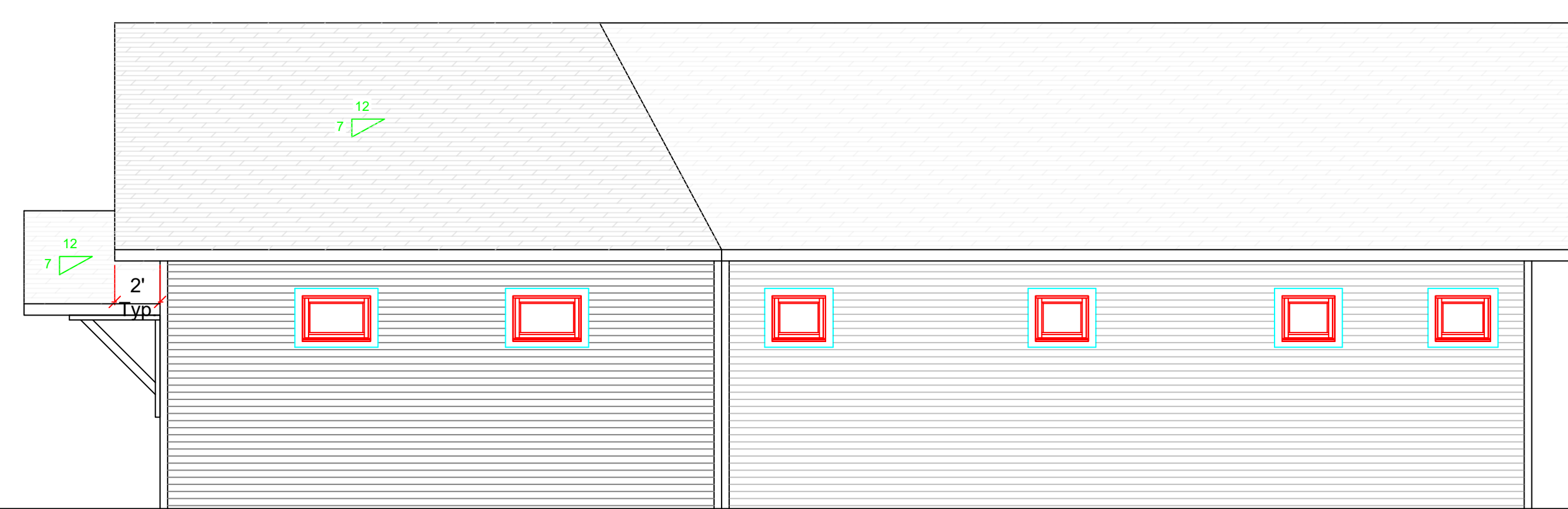
ELEVATION

CONSTRUCTION OPTIONS
 NO H.R.V. INSTALLED
 NO SPRINKLER SYSTEM
 CONC. FOUNDATION &
 FRAMED WALLS

GLAZING CALCULATIONS	
WALL AREA (E.B.F.)	
WINDOW AREA	
RATIO	
ALLOWABLE	100%
LIMITING DISTANCE	GREATER THAN 20M

ELEVATION

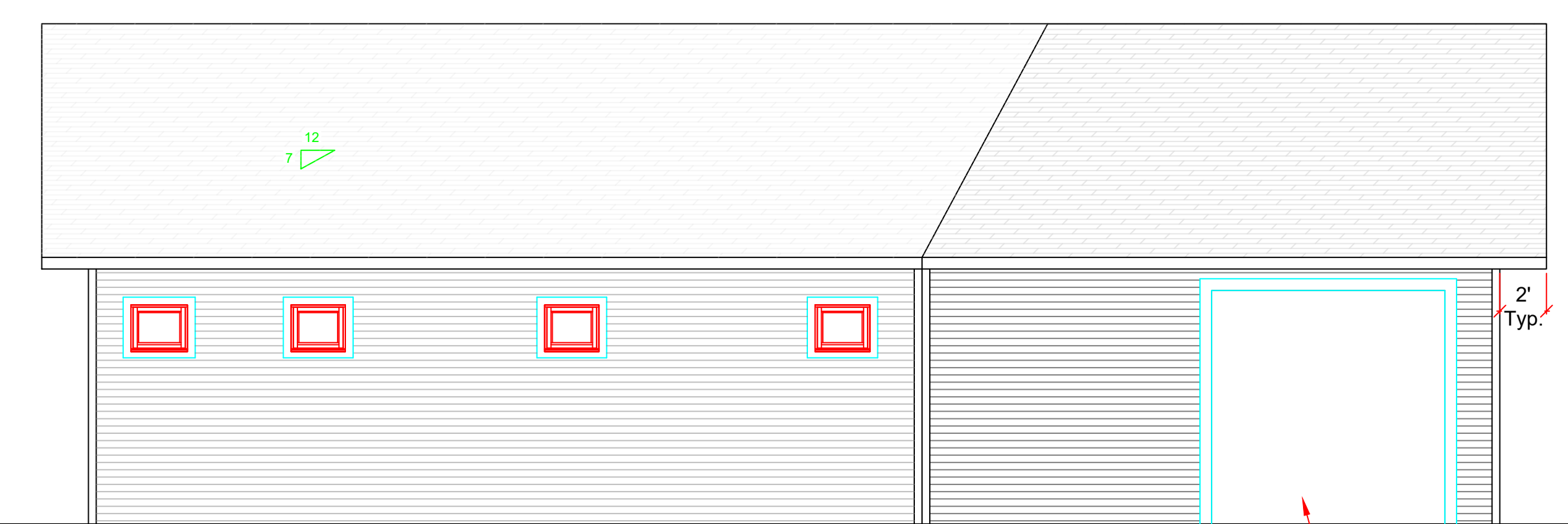
4" TRIM AT CORNERS
4" TRIM ON WINDOWS AND DOORS
STEPPED FOUNDATION & WINDOW WELLS - DETERMINED BY FINAL GRADE



GLAZING CALCULATIONS	
WALL AREA (E.B.F.)	
WINDOW AREA	
RATIO	
ALLOWABLE	100%
LIMITING DISTANCE	GREATER THAN 20M

ELEVATION

4" TRIM AT CORNERS
4" TRIM ON WINDOWS AND DOORS
STEPPED FOUNDATION & WINDOW WELLS - DETERMINED BY FINAL GRADE



GLAZING CALCULATIONS	
WALL AREA (E.B.F.)	
WINDOW AREA	
RATIO	
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ELEVATION

4" TRIM AT CORNERS
4" TRIM ON WINDOWS AND DOORS
STEPPED FOUNDATION & WINDOW WELLS - DETERMINED BY FINAL GRADE

NO.	DATE	DESCRIPTION

REVISIONS

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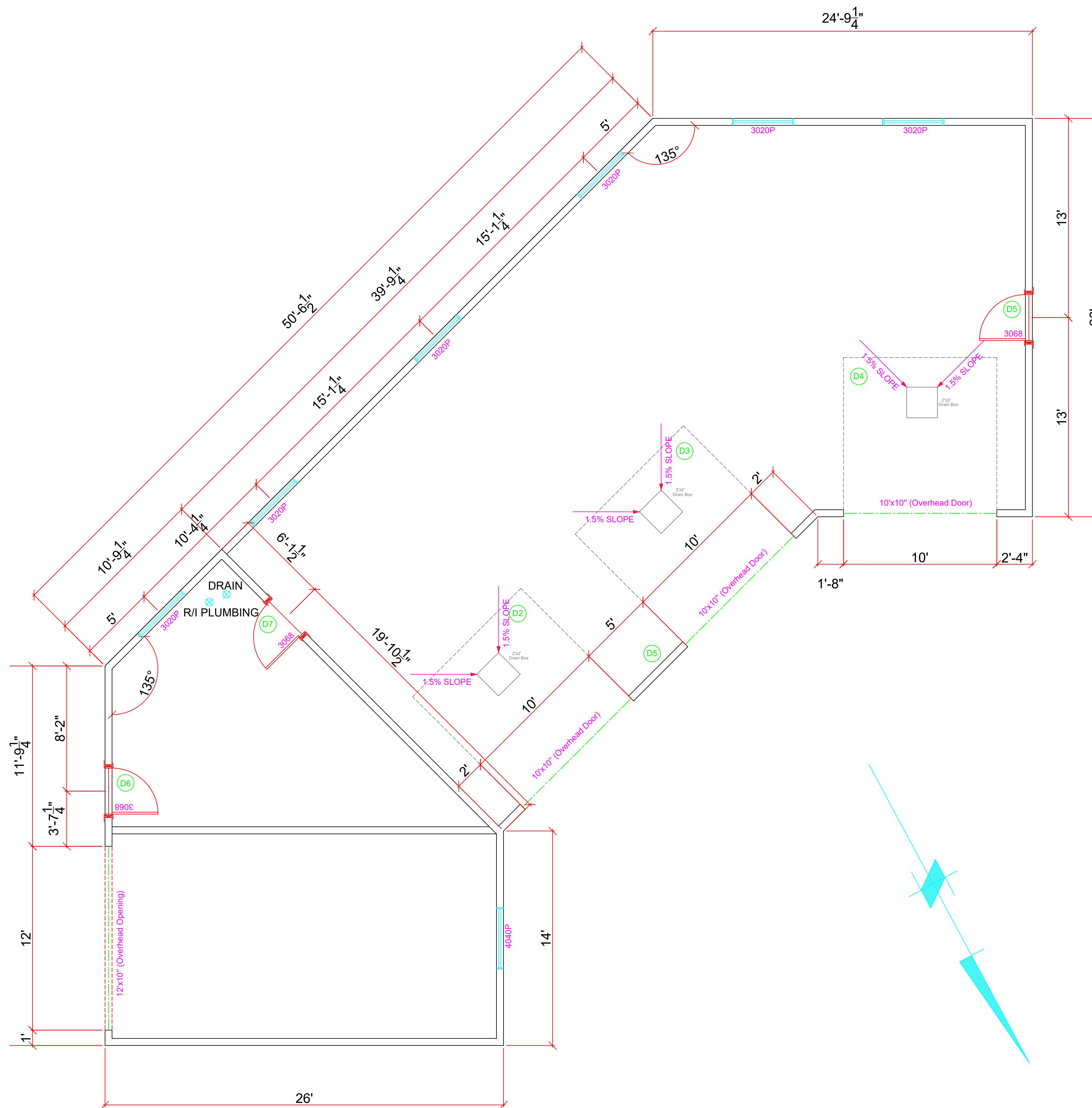
688 GRANDVIEW
BENCH ROAD

PROJECT NO.

CUSTOMER
STEVENS

SHEET TITLE
ELEVATIONS

DATE JUNE 9/21	SHEET NUMBER A-2
SCALE 1/4"=1'0"	
DRAWN PC	
CHECKED XX	



MAIN FLOOR PLAN

11' Ceilings

WINDOW/DOOR LEGEND

- PICTURE - P
- CASEMENT - C
- HORIZONTAL SLIDER - SL
- SINGLE HUNG - SH

WALL LEGEND

- SAFE & SOUND INSULATION
- PLUMB WALL
- LOAD BEARING WALL

FLOOR NOTES

1. FRAMED EXTERIOR WALLS INCLUDE EXTERIOR SHEATHING.
2. ALL DIMENSIONS SHOWN ARE TO FRAMING AND DO NOT INCLUDE DRYWALL OR OTHER FINISHES
3. ALL HEADERS TO BE 3-2X10 IN 2X6 WALLS AND 2-2X10 IN 2X4 WALLS UNLESS NOTED OTHERWISE
4. ALL DOORS AND WINDOWS FRAMED 4-1/2" FROM ADJACENT WALLS UNLESS NOTED OTHERWISE
5. ALL DOOR SLABS TRO MEASURE 80" IN HEIGHT UNLESS OTHERWISE NOTED
6. INDIVIDUAL ROOM AREAS ARE CALCULATED FROM INSIDE OF FRAMING WHEREAS THE OVERALL FLOOR AREA IS CALCULATED TO OUTSIDE EXTERIOR WALLS

NOTE: ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL CODES AND BYLAWS. DESIGN OF FOUNDATION AND FOOTINGS TO BE MODIFIED TO SUIT LOCAL SOIL CONDITIONS AS REQUIRED
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NO.	DATE	REVISION
1		
2	MAY 18/21	SITE PLAN
3	JUNE 9/21	ROOF PITCH

NO.	DATE	DESCRIPTION

REVISIONS

Wood Creek
Construction Ltd.
-Building with Confidence-

CIVIL ADDRESS

688 GRANDVIEW BENCH ROAD

PROJECT NO.

CUSTOMER

STEVENS

SHEET TITLE

GARAGE LAYOUT PLAN

DATE

JUNE 9/21

SCALE

3/8"=1'-0"

DRAWN

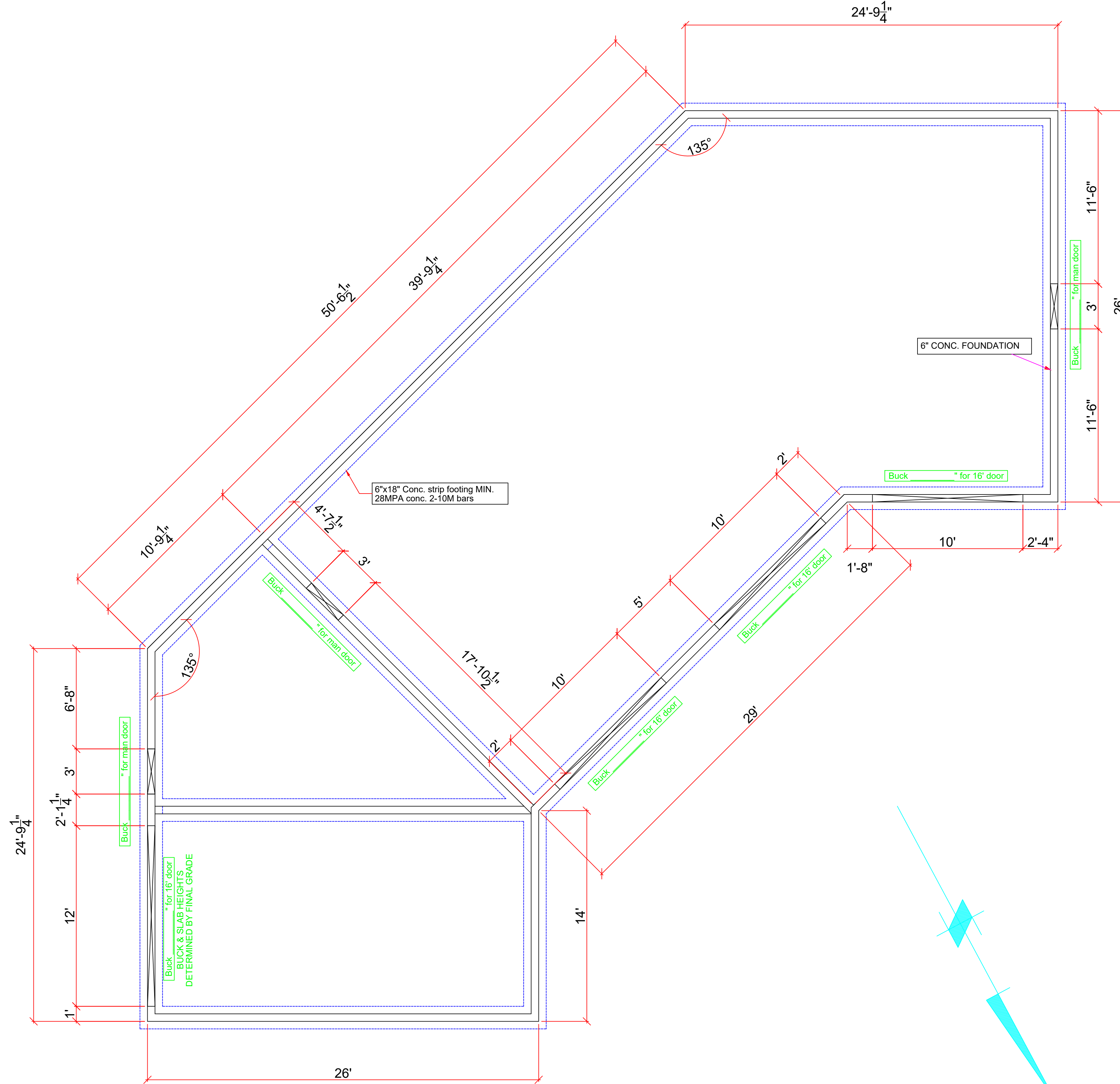
PC

CHECKED

XX

SHEET NUMBER

A-3



FOUNDATION PLAN

WINDOW/DOOR LEGEND	
— P	PICTURE - P
— C	CASEMENT - C
— SL	HORIZONTAL SLIDER - SL
— SH	SINGLE HUNG - SH

WALL LEGEND	
	SAFE & SOUND INSULATION
	PLUMB WALL
	LOAD BEARING WALL
	1' HIGHER FOUNDATION

- FLOOR NOTES**
- FRAMED EXTERIOR WALLS DO NOT INCLUDE EXTERIOR SHEATHING.
 - ALL DIMENSIONS SHOWN ARE TO FRAMING AND DO NOT INCLUDE DRYWALL OR OTHER FINISHES
 - ALL HEADERS TO BE 3-2X10 IN 2X6 WALLS AND 2-2X10 IN 2X4 WALLS UNLESS NOTED OTHERWISE
 - ALL DOORS AND WINDOWS FRAMED 4-1/2" FROM ADJACENT WALLS UNLESS NOTED OTHERWISE
 - ALL DOOR SLABS TRO MEASURE 80" IN HEIGHT UNLESS OTHERWISE NOTED
 - INDIVIDUAL ROOM AREAS ARE CALCULATED FROM INSIDE OF FRAMING WHEREAS THE OVERALL FLOOR AREA IS CALCULATED TO OUTSIDE EXTERIOR WALLS

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2	MAY 18/21	SITE PLAN
3	JUNE 9/21	ROOF PITCH

NO.	DATE	DESCRIPTION

REVISIONS



CIVIL ADDRESS

688 GRANDVIEW BENCH ROAD

PROJECT NO.

CUSTOMER
STEVENS

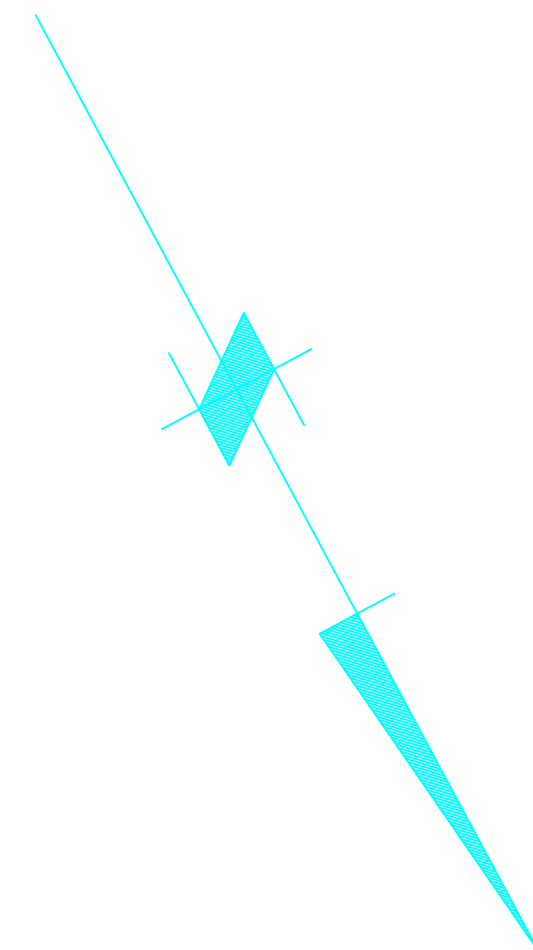
SHEET TITLE
FOUNDATION PLAN

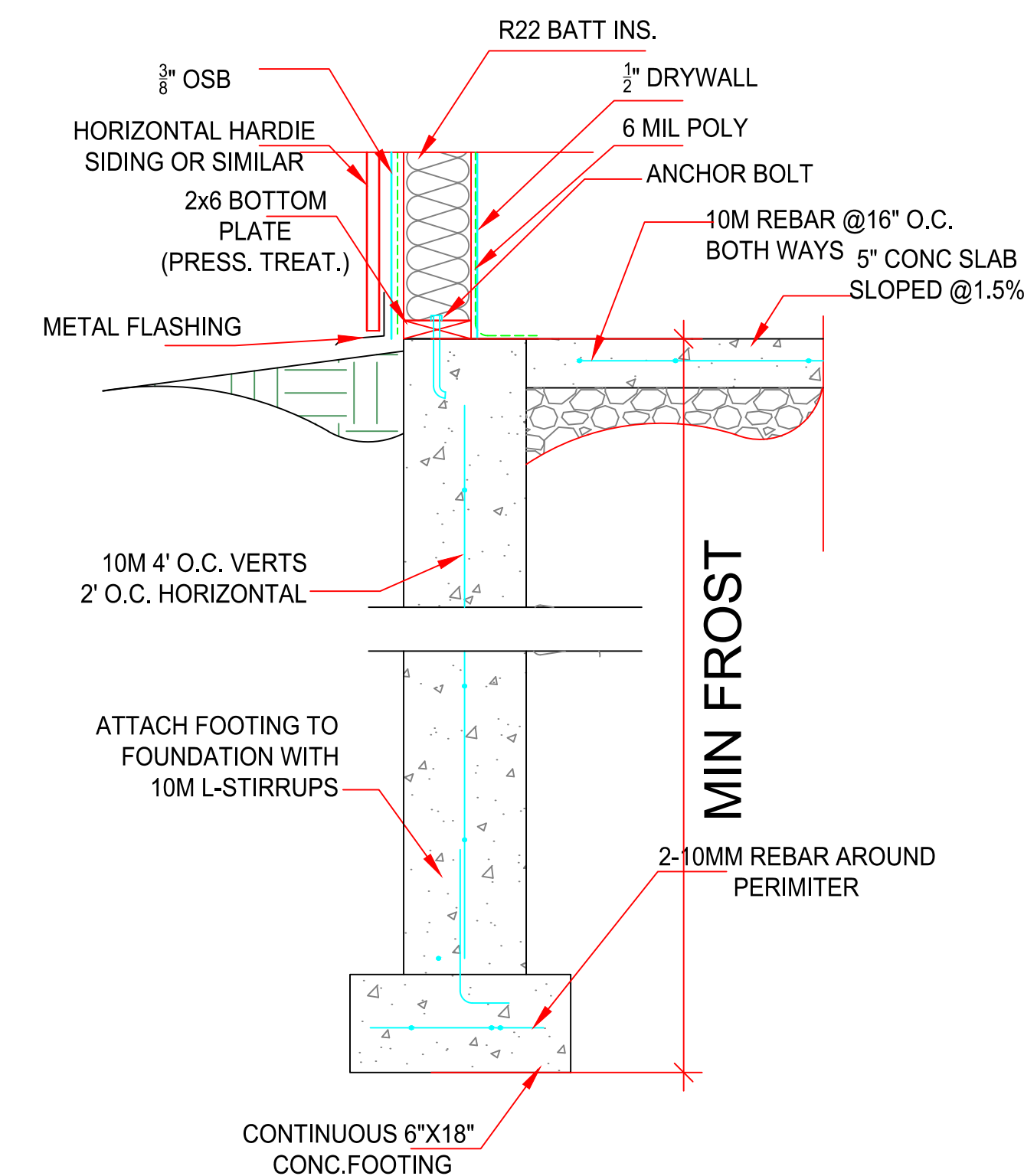
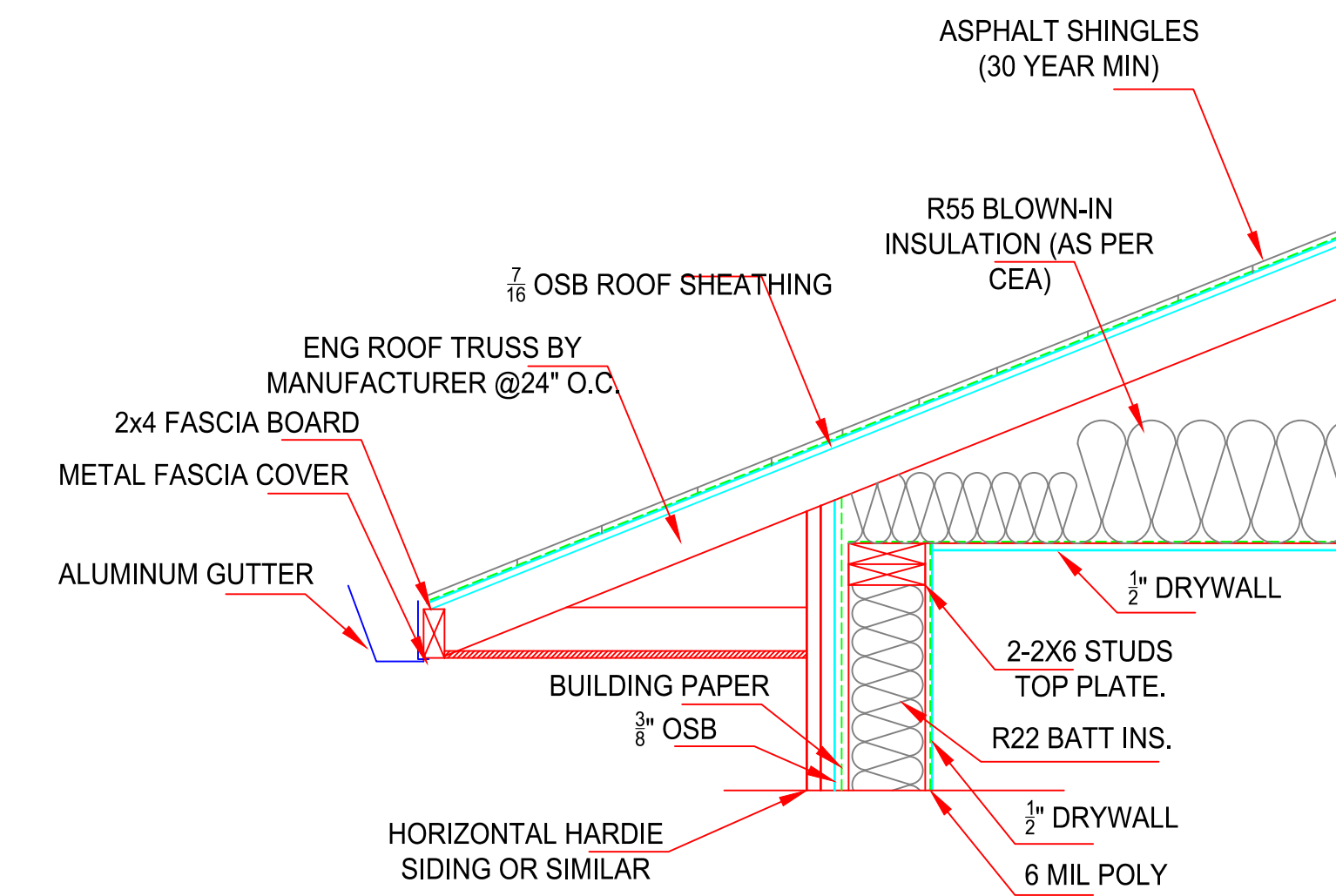
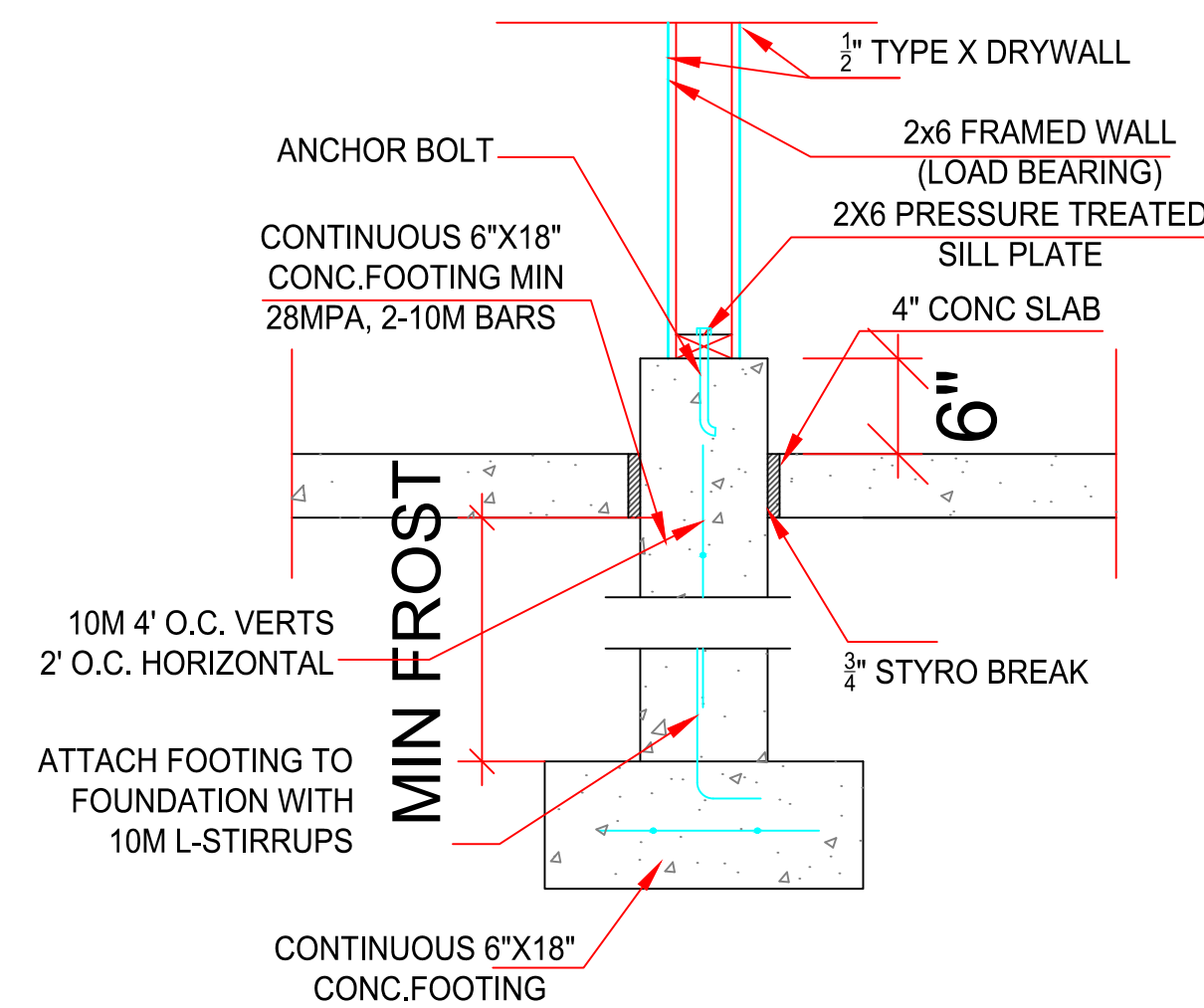
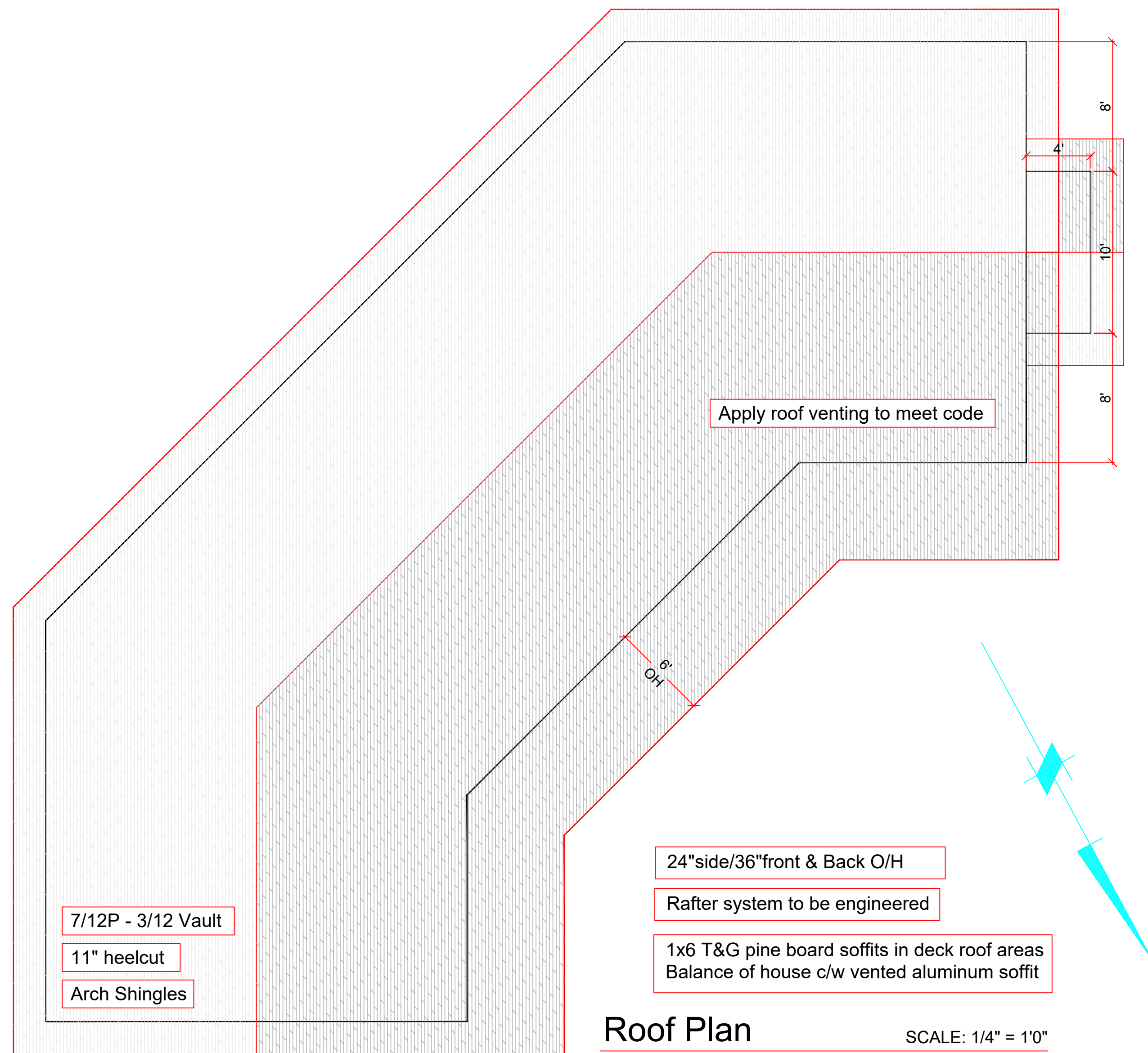
DATE	SHEET NUMBER
JUNE 9/21	A-4
SCALE 1/4"=1'-0"	
DRAWN PC	
CHECKED XX	

BACKFILL NOTE:
BACKFILL HEIGHT CANNOT EXCEED REQUIREMENTS AS PER SUBSECTION 9.15.4 OF BC BLDG CODE

SLAB NOTE
5" conc slab, min 32MPA conc, 4" drain rock or other clean material suitable for the movement of radon gas

FOOTING NOTE
6"x18" conc strip footing min 28MPA concrete, 2-10M bars around 8" foundation wall





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1	JULY 1020	CLIENT CHANGES
2	MAY 1821	SITE PLAN
3	JUNE 921	ROOF PITCH

NO.	DATE	DESCRIPTION
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REVISIONS



Wood Creek
Construction Ltd.
-Building with Confidence-

CIVIL ADDRESS

688 GRANDVIEW
BENCH ROAD

PROJECT NO.

CUSTOMER

STEVENS

SHEET TITLE

ROOF PLAN/
DETAILS

JUNE 9/21

SCALE

VARIES

DRAWN

PC

CHECKED

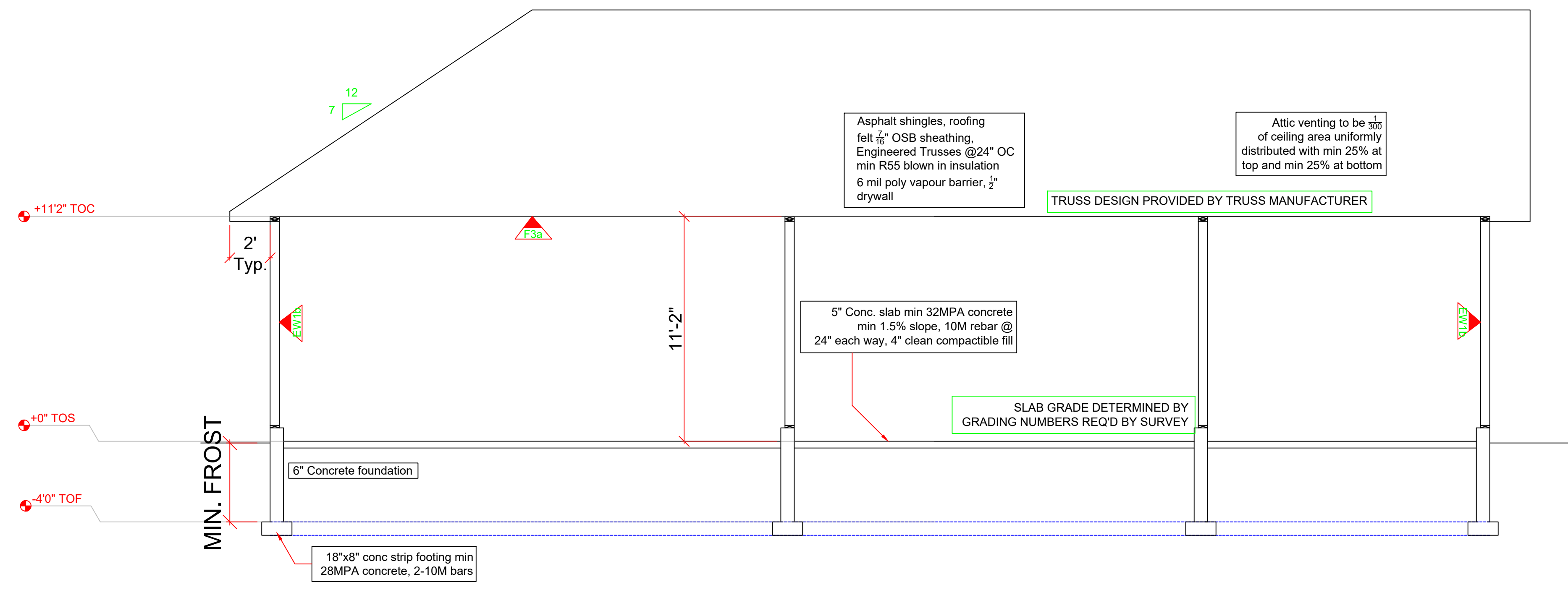
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SHEET NUMBER

A-5

NOTE: ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL CODES AND BYLAWS. DESIGN OF FOUNDATION AND FOOTINGS TO BE MODIFIED TO SUIT LOCAL SOIL CONDITIONS AS REQUIRED
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WINDOW SCHEDULE						
	MARK		SASH OPERATION	RO WIDTH [+1/8"]	RO HEIGHT [+1/8"]	COMMENTS
	W	1	3020	PICTURE	3'0"	2'0"
	W	2	3020	PICTURE	3'0"	2'0"
	W	3	3020	PICTURE	3'0"	2'0"
	W	4	3020	PICTURE	3'0"	2'0"
	W	5	3020	PICTURE	3'0"	2'0"
	W	6	3020	PICTURE	3'0"	2'0"
	W	7	4040	PICTURE	4'0"	4'0"



SECTION

DOOR SCHEDULE							
	MARK		DOOR OPERATION	RO WIDTH	RO HEIGHT	SIDE LITES	LOCATION
	D	2	100100	OVERHEAD DOOR	10'	10'0"	GARAGE DOOR
	D	3	100100	OVERHEAD DOOR	10'	10'0"	GARAGE DOOR
	D	4	100100	OVERHEAD DOOR	10'	10'0"	GARAGE DOOR
	D	5	3068	SWING SIMPLE	3'2-3/8"	6'11"	EXT. MAN DOOR
	D	6	3068	SWING SIMPLE	3'2-3/8"	6'11"	EXT. MAN DOOR
	D	7	3068	SWING SIMPLE	3'2-3/8"	6'11"	INT. MAN DOOR

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CIVIL ADDRESS

688 GRANDVIEW BENCH ROAD

PROJECT NO.

CUSTOMER
STEVENS

SHEET TITLE
SECTIONS & WINDOW/DOOR SCHEDULES

DATE	SHEET NUMBER
JUNE 9/21	A-6
SCALE 3/16"=1'	
DRAWN PC	
CHECKED XX	