

GENERAL NOTES

- ITEMS LISTED OR NOTED WITHIN THESE NOTES ARE FOR GUIDANCE ONLY AND DO NOT NECESSARILY CONSTITUTE THE ENTIRE EXTENT OF WORK REQUIRED TO BE CARRIED OUT.
- BEFORE BIDDING THIS PROJECT THE CONTRACTOR SHALL ENSURE THAT THEY HAVE A FULL UNDERSTANDING OF THE STANDARD CONSTRUCTION PRACTICES AND WORK OUTLINED IN THESE DRAWINGS.
- IT IS HEREBY UNDERSTOOD THAT ALL LOCAL CODES AND REGULATIONS, THE MOST RECENT EDITION OF THE B.C. BUILDING CODE, AND ALL REVISIONS, SHALL APPLY IN THEIR ENTIRETY AS THE MINIMUM STANDARD TO ALL SECTIONS OF THE WORK.
- ANY CHANGES TO OR DEVIATIONS FROM THESE PLANS IS THE FULL RESPONSIBILITY OF THE CONTRACTOR AND MUST BE APPROVED IN WRITING BY THE OWNER AND REPORTED TO THIS OFFICE.
- ALL LABOUR SHALL BE PERFORMED IN THE BEST AND MOST WORKMANSHIP LIKE MANNER BY QUALIFIED TRADESPEOPLE.
- COMPLIANCE WITH THE B.C. HPO IS REQUIRED ON THIS PROJECT.
- A DISCLOSURE OF CURRENT W.C.B. STATUS WILL BE REQUIRED PRIOR TO AWARDING ANY PORTION OF THIS PROJECT.
- ALL CONTRACTORS SHALL CO-OPERATE WITH EACH OTHER AND CO-ORDINATE THEIR WORK FOR THE PROPER COMPLETION OF THE PROJECT.

ERRORS AND OMISSIONS

- PROCAD DESIGNS LIMITED MAKES EVERY EFFORT TO PROVIDE COMPLETE AND ACCURATE HOME PLANS. HOWEVER, NO LIABILITY IS ASSUMED FOR ANY ERRORS OR OMISSIONS AND IT IS THE RESPONSIBILITY OF THE BUILDER TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCEMENT OF CONSTRUCTION.
- ANY DISCREPANCIES OR OMISSIONS SHOULD BE REPORTED TO THIS OFFICE FOR CLARIFICATION.

COPYRIGHT

- THESE PLANS AND DESIGNS THEREIN ARE COPYRIGHT AND THE EXCLUSIVE PROPERTY OF PROCAD DESIGNS LIMITED AND MAY NOT BE REPRODUCED IN PART OF WHOLE WITHOUT WRITTEN PERMISSION.
- PROCAD DESIGNS LIMITED GRANTS THE PURCHASER THE RIGHT TO BUILD ONLY ONE STRUCTURE FROM THESE PLANS.

BUILDING SITE

- BUILDER SHALL LOCATE SEWER, WATER, GAS AND ELECTRICAL SERVICES.
- WELLS, SEPTIC TANK AND DISPOSAL FIELD (IF REQUIRED) SHALL CONFORM TO LOCAL AND DISTRICT REGULATIONS.
- INSTALL PROTECTIVE BARRIERS AROUND EXISTING TREES DURING CONSTRUCTION.
- TEMPORARY AND FINISHED GRADE SHALL SLOPE AWAY FROM THE BUILDING.
- THE SITE SHALL, AT ALL TIMES, BE KEPT CLEAN; DEBRIS SHALL BE NEATLY PILED AND REMOVED AS NEEDED.

FOUNDATION NOTES

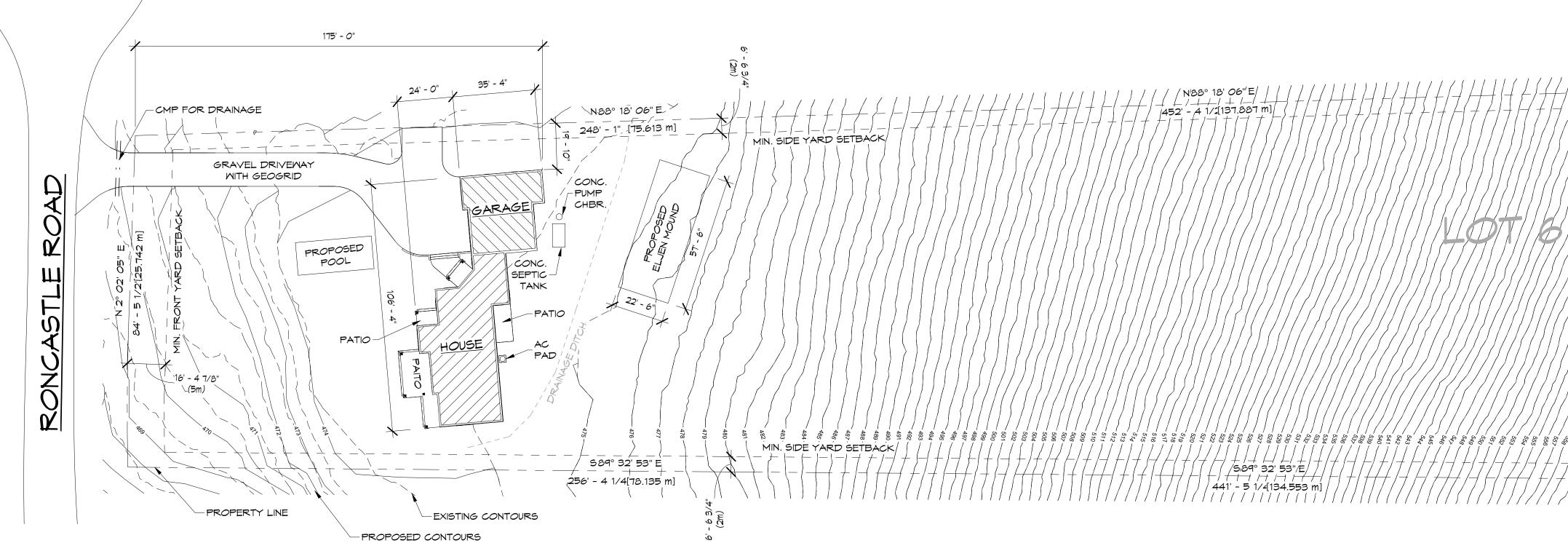
- FOOTINGS AND FOUNDATIONS SHALL BE DROPPED TO SOLID UNDISTURBED NATIVE SOIL OR COMPACTED FILL AND TO BELOW FROST LINE.
- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 32 MPa AFTER 28 DAYS INCLUDING GARAGE SLABS, CARPORT SLABS AND EXTERIOR STEPS.
- BACK FILLING OF FOUNDATION WALLS SHALL NOT BE DONE UNTIL THE CONCRETE HAS REACHED ITS REQUIRED 28-DAY STRENGTH AND THE ENTIRE MAIN FLOOR JOISTS AND SHEATHING HAVE BEEN INSTALLED TO GIVE THE FOUNDATION PROPER SUPPORT.
- REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ASTM A615 GRADE 400.
- REINFORCING SHALL HAVE MINIMUM CONCRETE COVER OF 3" WHEN LAID AGAINST GROUND, SPLICES SHALL BE 34 X BAR DIAMETER.
- FOUNDATION WALLS HIGHER THAN PERMITTED IN THE BUILDING CODE ARE REQUIRED TO BE DESIGNED BY AN ENGINEER.
- ANY ENGINEERED FOUNDATION DRAWINGS SUPERSEDE THOSE INCLUDED IN THESE PLANS.
- EXISTING GRADE SHOWN IS TO BE CONSIDERED APPROXIMATE AND FOUNDATION WALL HEIGHTS MAY NEED TO BE ADJUSTED DEPENDING ON ACTUAL SITE CONDITIONS.

- BE FLUSH.
- STANDARD.

ELECTRICAL NOTES

- OWNER.

- OTHERWISE.



PLAN & FRAMING NOTES

 ALL DIMENSIONS ARE TAKEN FROM OUTSIDE FACE OF EXTERIOR STUDS AND TO CENTER LINE OF INTERIOR STUD WALLS UNLESS NOTED OTHERWISE.

FACE OF EXTERIOR STUD WALL AND FOUNDATION TO

 FRAMING LUMBER GRADES AND SPECIES SHALL CONFORM TO B.C. BUILDING CODE, RESIDENTIAL

• ALL WOOD IN CONTACT WITH CONCRETE TO BE DAMPPROOFED WITH SILL GASKET OR OTHER APPROVED METHOD.

 DOUBLE JOISTS UNDER NON LOAD BEARING WALLS RUNNING PARALLEL TO THE JOISTS.

• LINTELS SHALL BE 2-2x10 UNLESS OTHERWISE NOTED.

 ROOF TRUSSES SHALL BE PRE-ENGINEERED BY MANUFACTURER, AND A COPY SUPPLIED TO THIS OFFICE FOR REVIEW.

 IN ORDER TO ACCOMMODATE FINISHED FLOOR HEIGHTS, ADJUSTMENTS TO NOTED RISER HEIGHTS MAY BE REQUIRED. ALL RECALCULATIONS OF RISER HEIGHTS MUST CONFORM TO LOCAL BUILDING CODES AND MEET WITH OWNER'S AND/OR DESIGNER'S REQUIREMENTS.

 BUILDER IS RESPONSIBLE FOR SUPPLYING ADEQUATE HEATING TO ALL PARTS OF THE HOUSE.

 LOCATION OF UNDIMENSIONED FIXTURES, OUTLETS, DUCT WORK AND ITEMS SHOWN OR NOTED BUT NOT DIMENSIONED, SHALL BE CONSIDERED APPROXIMATE. THE ACTUAL LOCATIONS SHALL BE DIRECTED BY THE OWNER AND AS REQUIRED TO SUIT JOB CONDITIONS.

 ALL ELECTRICAL WORK TO COMPLY WITH APPLICABLE CODES AND REGULATIONS.

 ELECTRICAL PLANS SHOWN ARE TO BE USED AS A GUIDE ONLY, AND ALL ITEMS TO BE CONFIRMED WITH

• SEE ELECTRICAL PLANS FOR FURTHER NOTES.

INSULATION/SOUNDPROOFING NOTES

 PROVIDE MIN R50 BLOWN INSULATION AND 6 MIL VAPOUR BARRIER IN ALL ROOF CEILINGS. MINIMUM R28 INSULATION IN SLOPING CEILINGS UNLESS NOTED

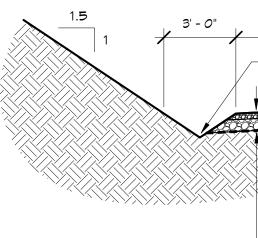
 PROVIDE R8 INSULATION FOR SOUND SEPARATION WHERE REQUIRED OR AS SHOWN.

 PROVIDE MIN R24 AND 6 MIL POLY VAPOUR BARRIER IN ALL EXTERIOR WALLS.

SHEET LIST				
NUMBER	NAME			
AO	PERSPECTIVE VIEWS			
A1	SITE PLAN			
A2	FOUNDATION PLAN			
AЗ	CRAWLSPACE PLAN			
A4	MAIN FLOOR PLAN			
A5	UPPER FLOOR PLAN			
A6	ROOF PLAN			
A7	NORTH AND SOUTH ELEVATIONS			
AB	EAST AND WEST ELEVATIONS			
A9	SECTIONS			

A10 SECTIONS & THERMAL CALCS A11 ELECTRICAL PLANS

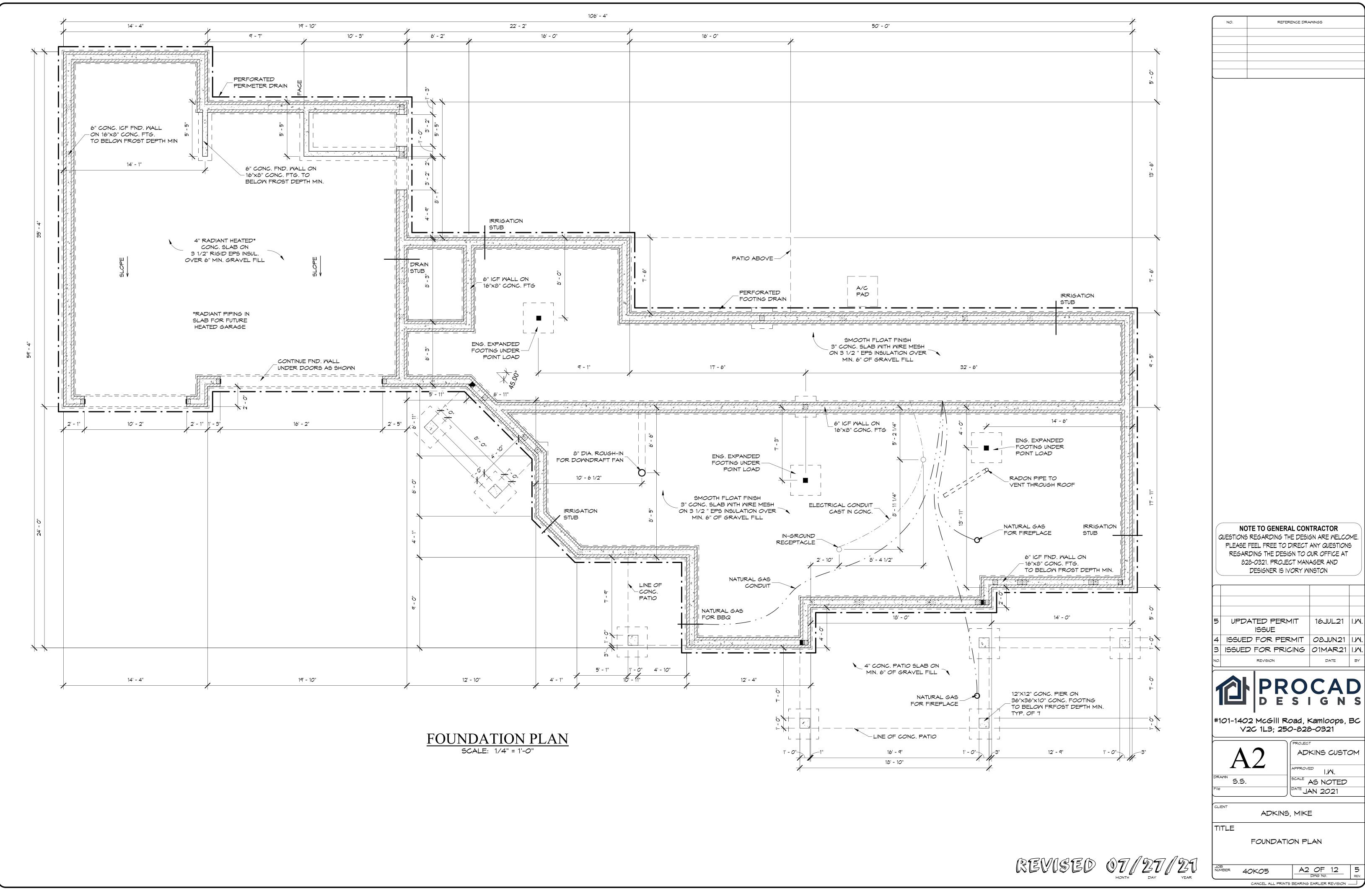
A12 ELECTRICAL PLANS

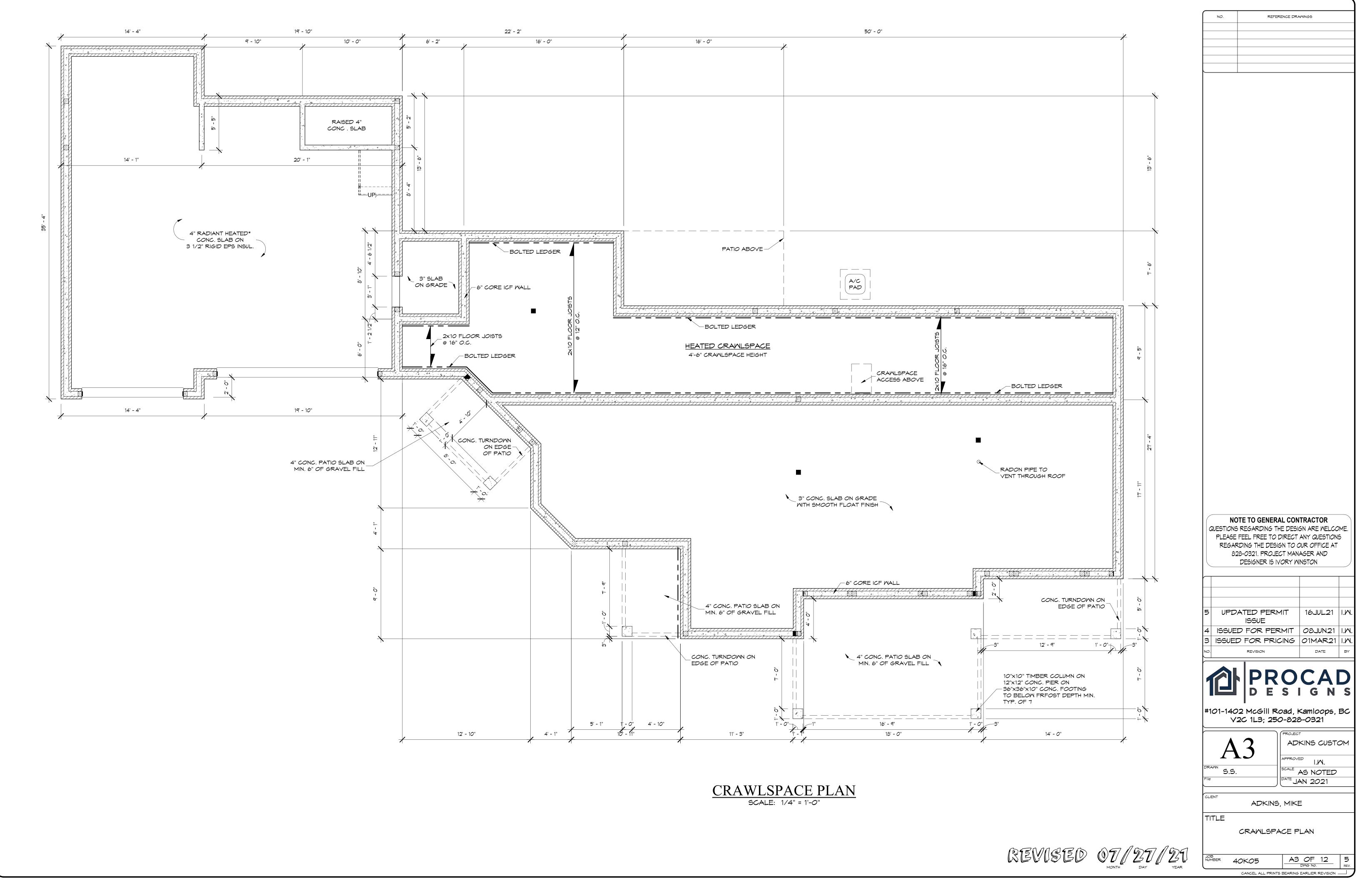


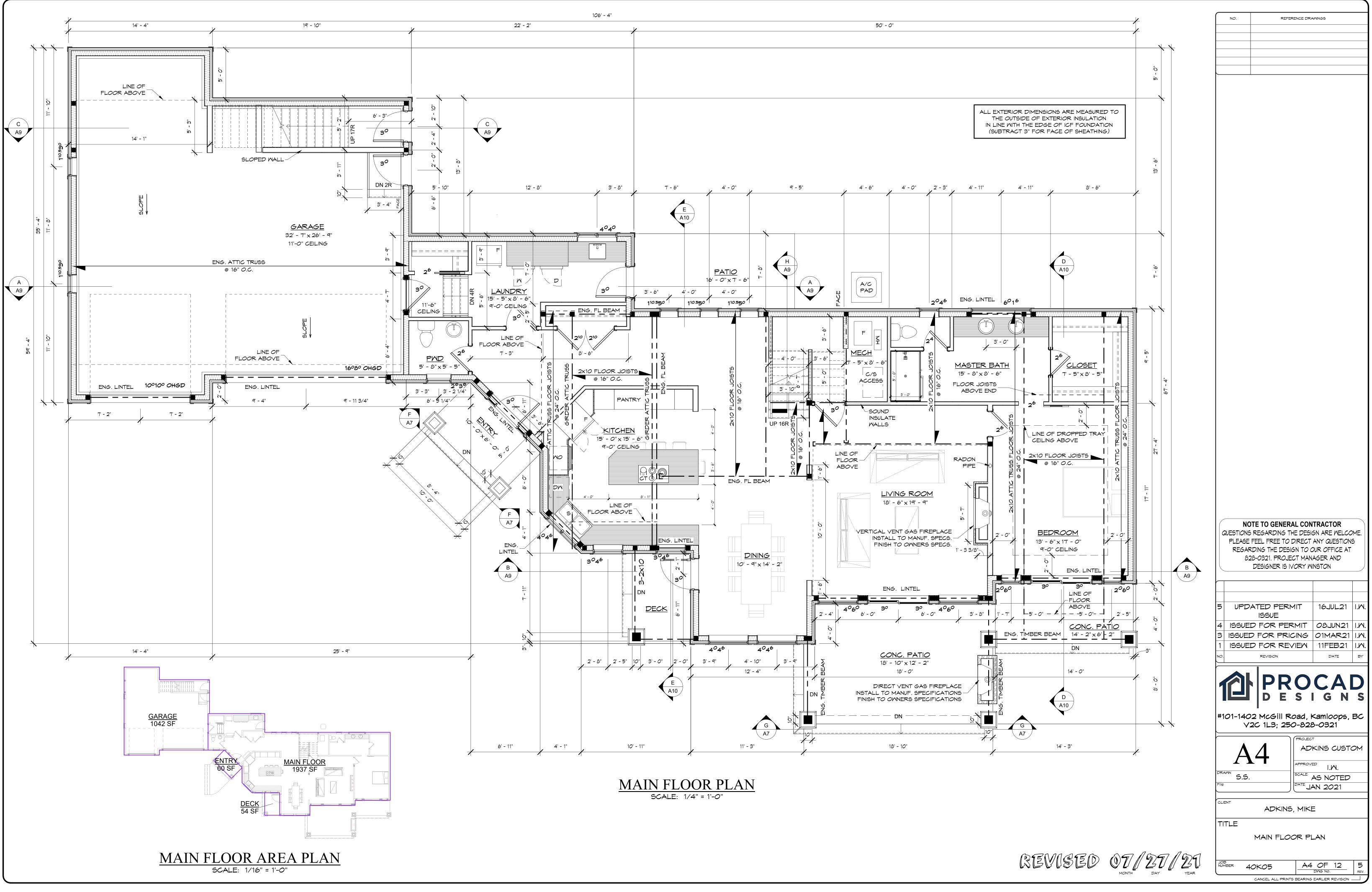
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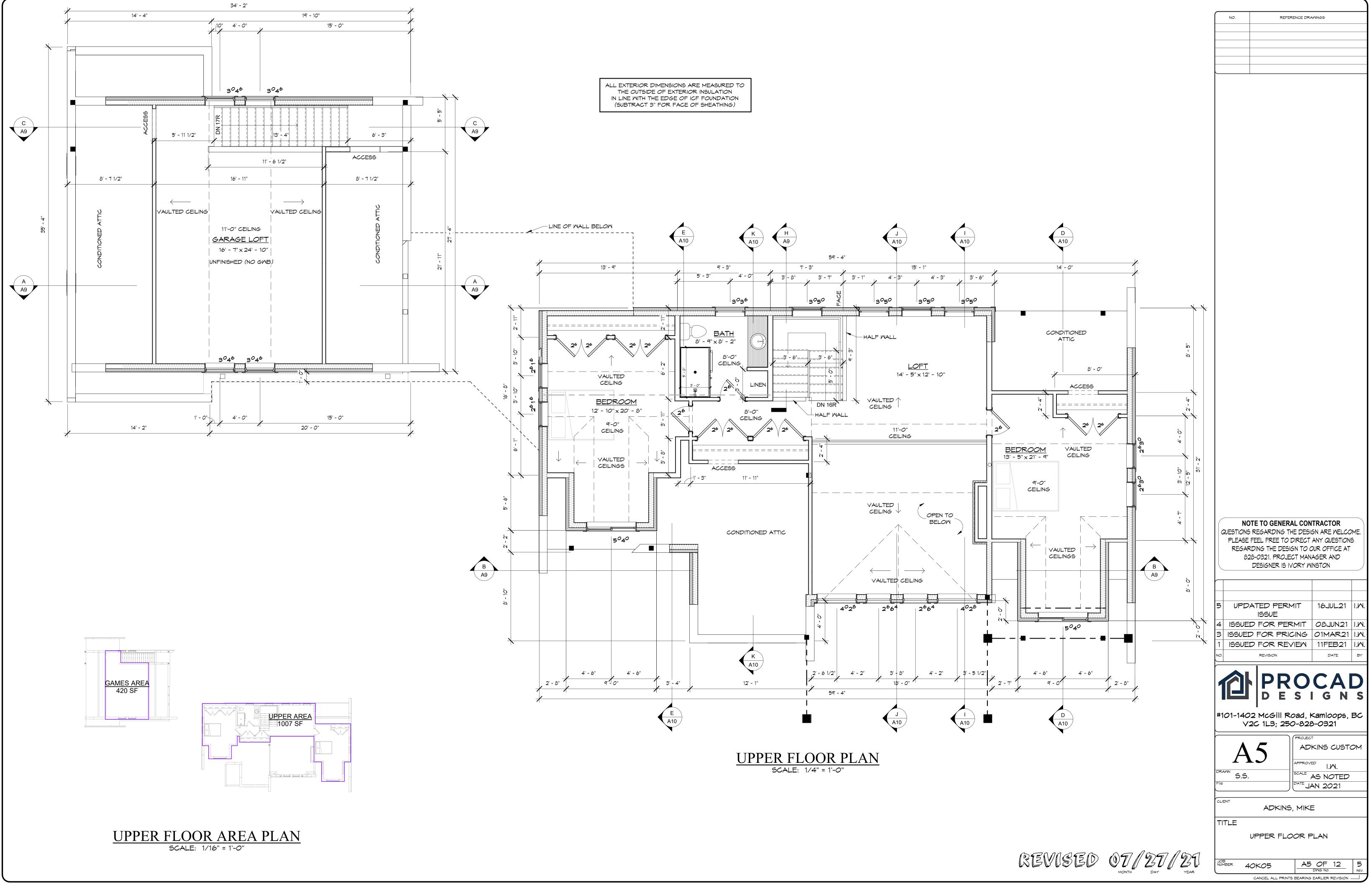
	NO.	REFERENCE DRAWINGS
$\begin{array}{c ccccccccccccccccccccccccccccccccccc$		
DRAINAGE DITCH		
$ \begin{array}{c c} & & & & \\ & & & \\ & & & \\ \end{array} $		
BRIVEWAY ASSEMBLY 3" DEPTH CRUSHED STONE (PROVIDED BY OWNER)		
3" DEPTH CRUSHED STONE (PROVIDED BY OWNER) 6" DEPTH OF 3" CRUSHED ROCK ROAD BASE WOVEN POLYPROPYLENE GEOTEXTILE FABRIC		
COMPACTED SOIL		
TYPICAL DRIVEWAY SECTION		
$\frac{11 \text{ FICAL DKIVE WAY SECTION}}{\text{SCALE: 1/4" = 1'-0"}}$		
CIVIC ADDRESS:		
3390 RONCASTLE ROAD BLIND BAY, B.C.		
LEGAL DESCRIPTION: L 6 SEC 30 TP 22 R 10 W OF THE 6TH MERIDIAN KAMLOOPS DIVISION YALE DISTRICT PL KAP 92908		
PID: 029-008-239		
zoning: RR1		
LOT AREA: MAX. COVERAGE:		
108,900 ft² [10,117.1 m²] 0%		
HOUSE1,937 ft² [180.0 m²]		
GARAGE		
TOTAL PROPOSED COVERAGE: 3,093 ft2 [287.3 m2] 2.8%		
	QUESTIONS	TE TO GENERAL CONTRACTOR REGARDING THE DESIGN ARE WELCOME.
		FEEL FREE TO DIRECT ANY QUESTIONS DING THE DESIGN TO OUR OFFICE AT
		8-0321. PROJECT MANAGER AND DESIGNER IS IVORY WINSTON
REARYARD		
	5 UPD/	ATED PERMIT 16JUL21 I.W.
		ISSUE 2 FOR PERMIT 08JUN21 I.W.
		POR PERMIT 08JUN21 I.M. PFOR PRICING 01MAR21 I.M.
		JED FOR DP 26FEB21 I.W.
	NO.	REVISION DATE BY
		PROCAD
		PROCAD DESIGNS
///////////////////////////////////////	#101-140 	2 McGill Road, Kamloops, BC 2C 1L3; 250-828-0321
zzzzzzzzzzzzzzzzzzzzzzzzzzzzzzzzzzzz		PROJECT
\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	$ \Delta$	ADKINS CUSTOM
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((())))))//////////////////////////////	5.5.	DATE JAN 2021
	GLIENT	
		ADKINS, MIKE
	TITLE	
		SITE PLAN
BERMARES AT 155 1655		
REVISED OT/27/21	JOB NUMBER 40	0K05 A1 OF 12 5 DWG NO. REV.
	-	CANCEL ALL PRINTS BEARING EARLIER REVISION

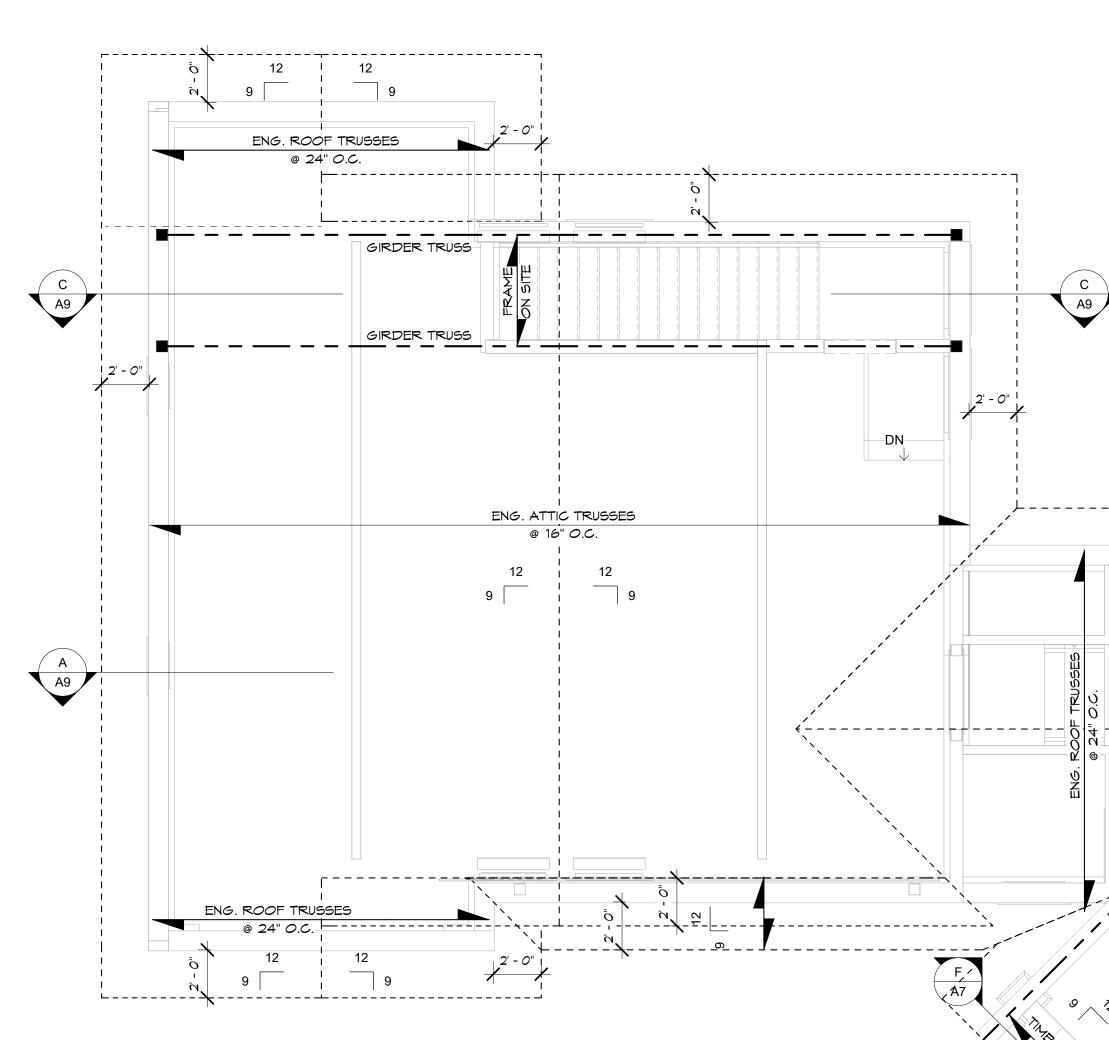




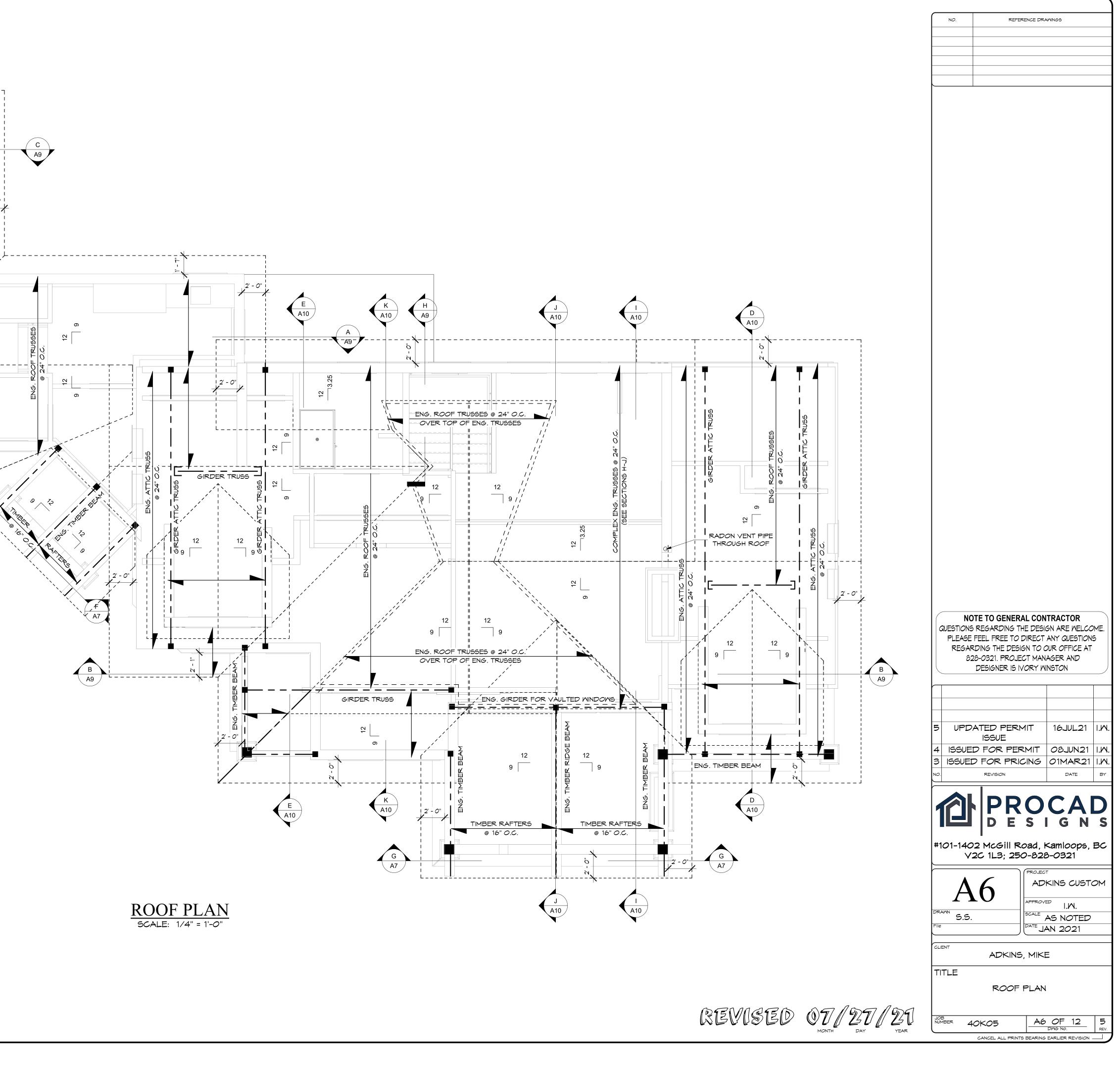


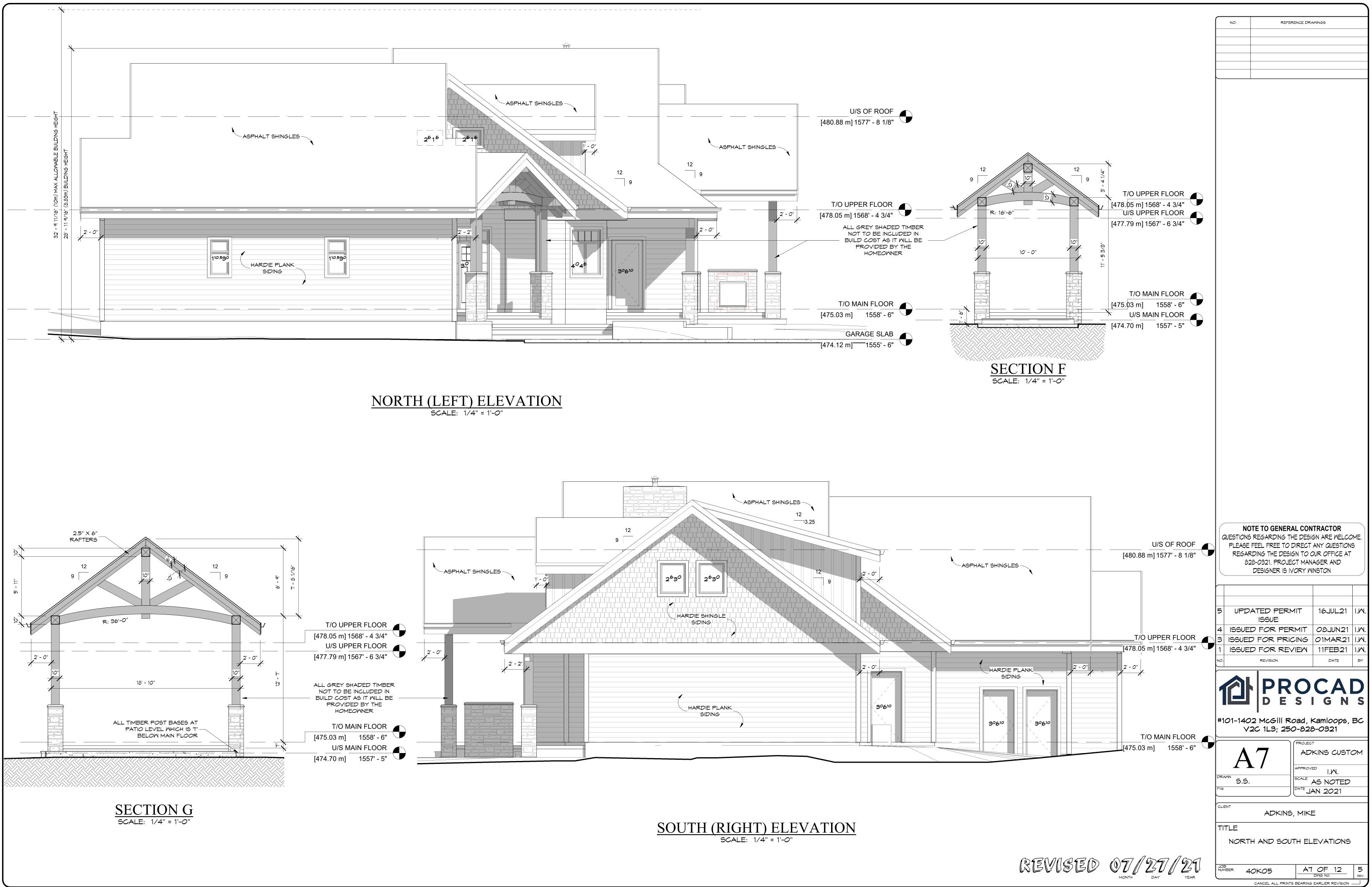




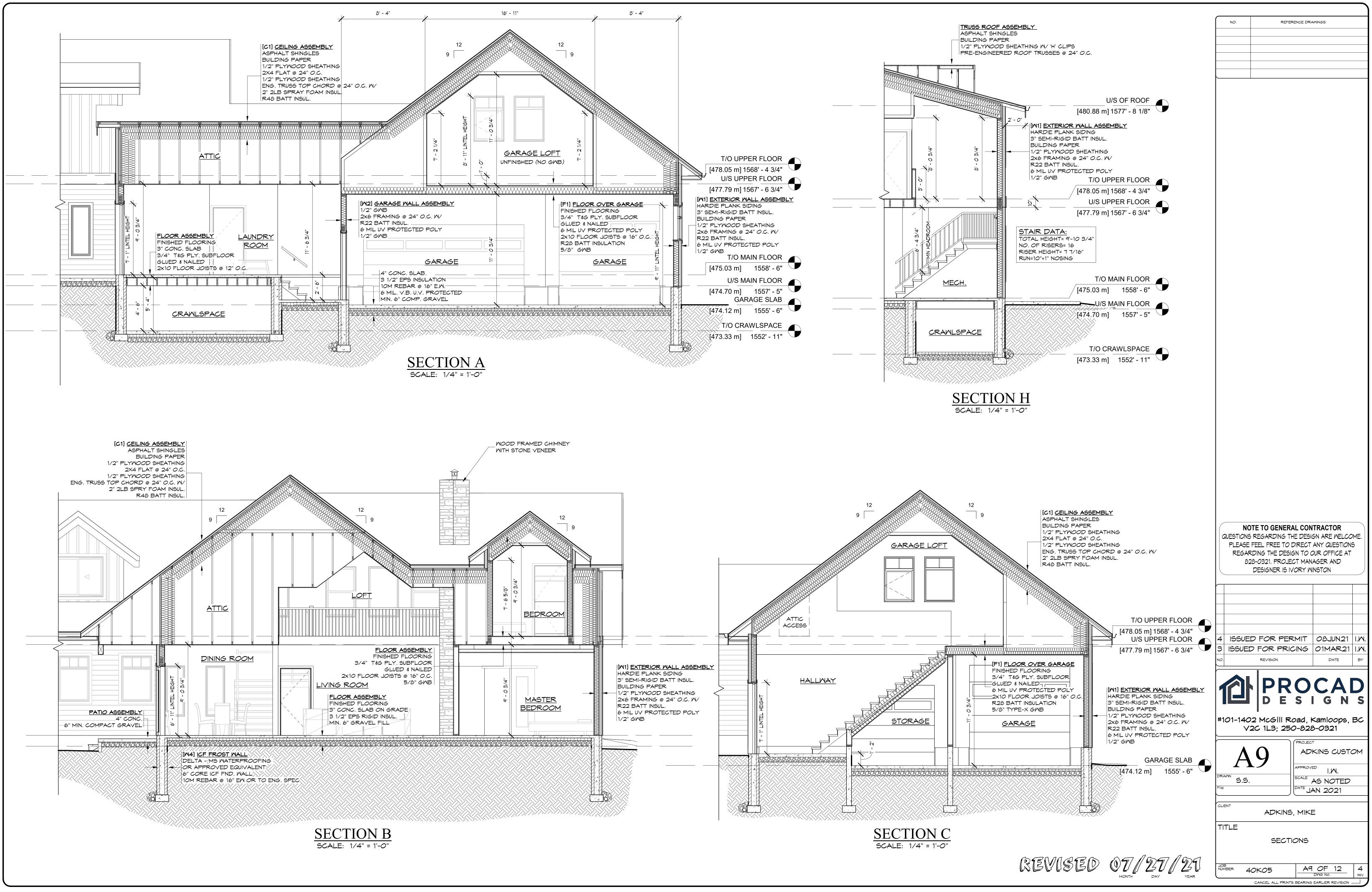


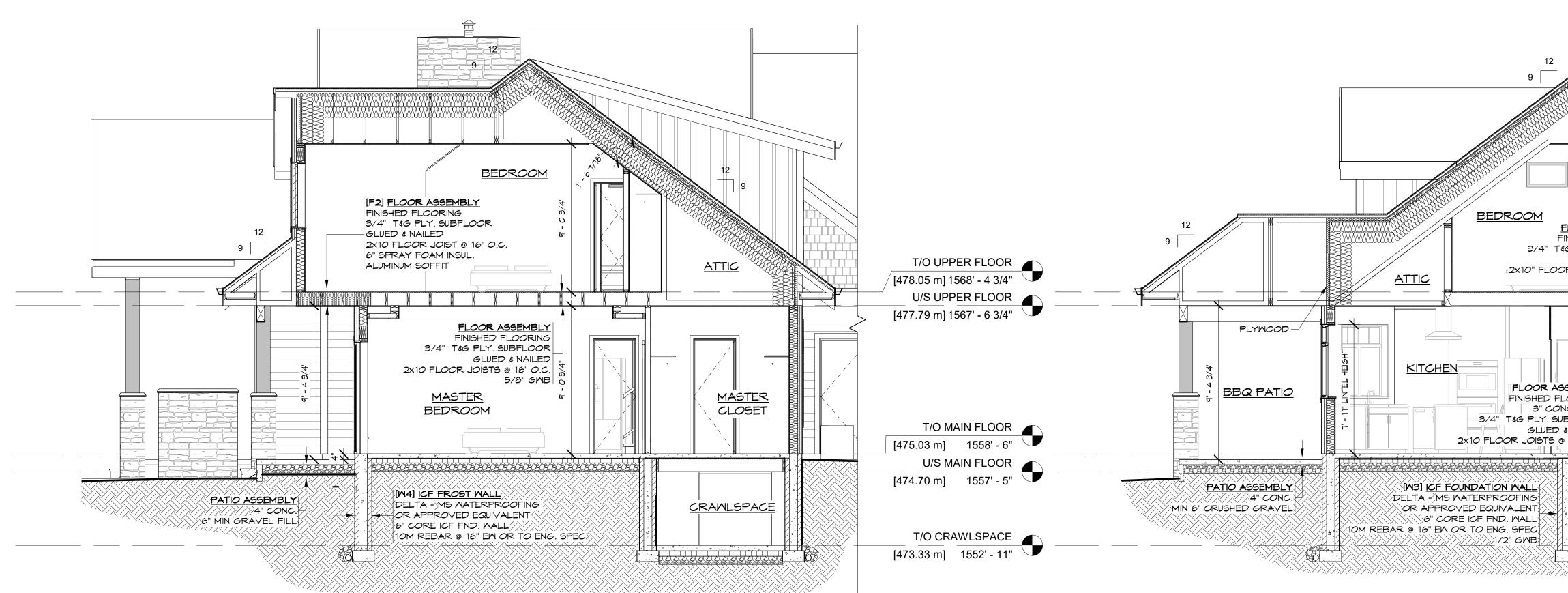




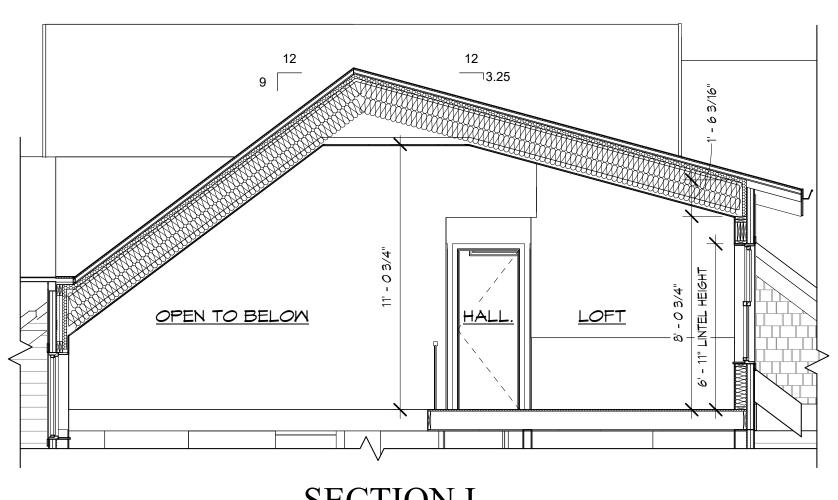


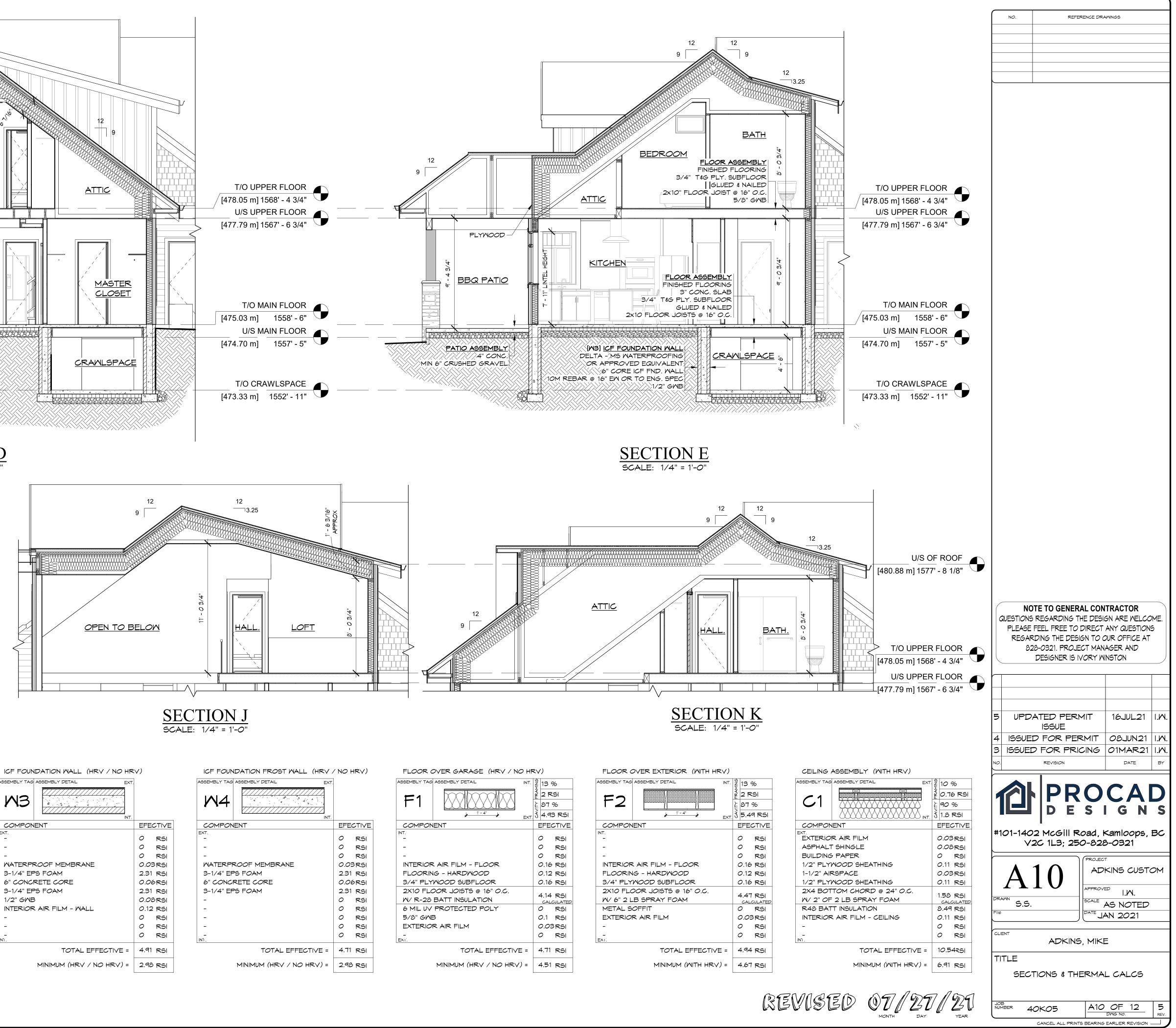






SECTION D SCALE: 1/4" = 1'-0"





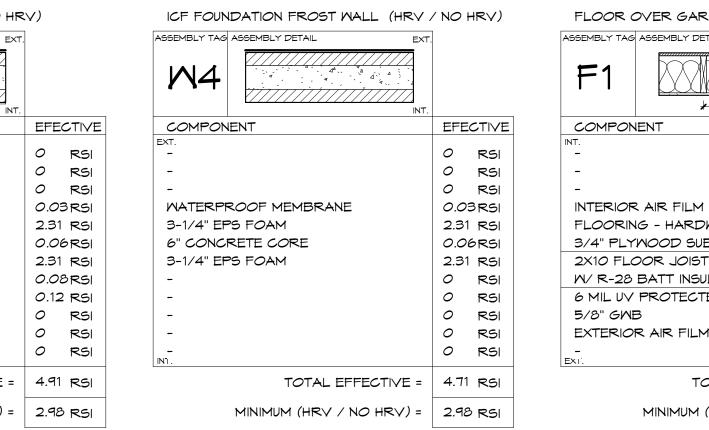
SEC	<u>ΓΙΟΝ Ι</u>
SCALE:	1/4" = 1'-0"

EXTERIOR WALL ASSEMBLY (HRV)	
ASSEMBLY TAG ASSEMBLY DETAIL E	XT. 20 %
	XT. 20 % 4 1.19 RSI
	± 80 % 3.87 RSI
	NT. 5 3.87 RSI
COMPONENT	EFECTIVE
EXTERIOR AIR FILM	0.03 RSI
HARDIE PLANK SIDING	0.03 RSI
1 1/2" SEMI-RIGID BATT W/ FLAT 2X4	4 0.94 RSI
1 1/2" SEMI-RIGID BATT INSUL	1.05 RSI
BUILDING PAPER	O RSI
1/2" PLYWOOD SHEATHING	0.11 RSI
2X6 STUDS @ 24" O.C.	2.67 RSI
W/R-22 BATT INSULATION	
6 MIL UV PROTECTED POLY	
1/2" GMB	0.08RSI
INTERIOR AIR FILM - WALL	0.12 RSI
	0 RSI
TOTAL EFFECTIVE =	= 5.03 RSI
MINIMUM (HRV) =	= 2.97 RSI

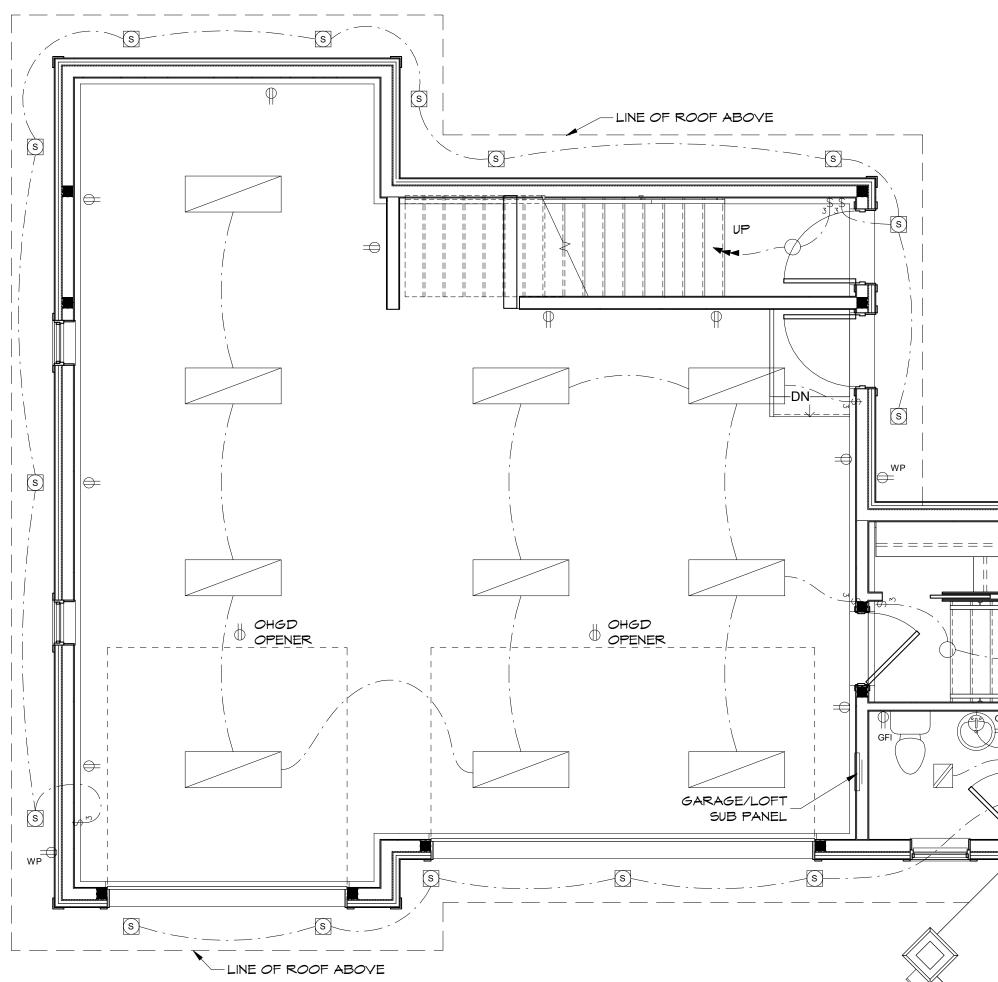
GARAGE/ DWELLING WALL ASSEMBLY (HRV)		
ASSEMBLY TAG ASSEMBLY DETAIL INT.	20 % 1.19 RSI	
	₽ 1.19 RSI	
	≥ 80 % 3.87 RSI	
EXT	3.87 RSI	
COMPONENT	EFECTIVE	
INT. -	O RSI	
-	O RSI	
-	O RSI	
INTERIOR AIR FILM - WALL	0.12 RSI	
1/2" GMB	0.08RS1	
6 MIL UV PROTECTED V.B.	O RSI	
2X6 STUDS @ 24" O.C.	2.67 RSI	
W/ R-22 BATT INSULATION	CALCULATED	
1/2" GWB	0.08R51	
EXTERIOR AIR FILM	0.03RS1	
-	O RSI	
_ EXI'.	0 RSI	
TOTAL EFFECTIVE =	2.98 RSI	
MINIMUM (HRV) =	2.81 RSI	

ASSEMBLY TAG ASSEMBLY DETAIL

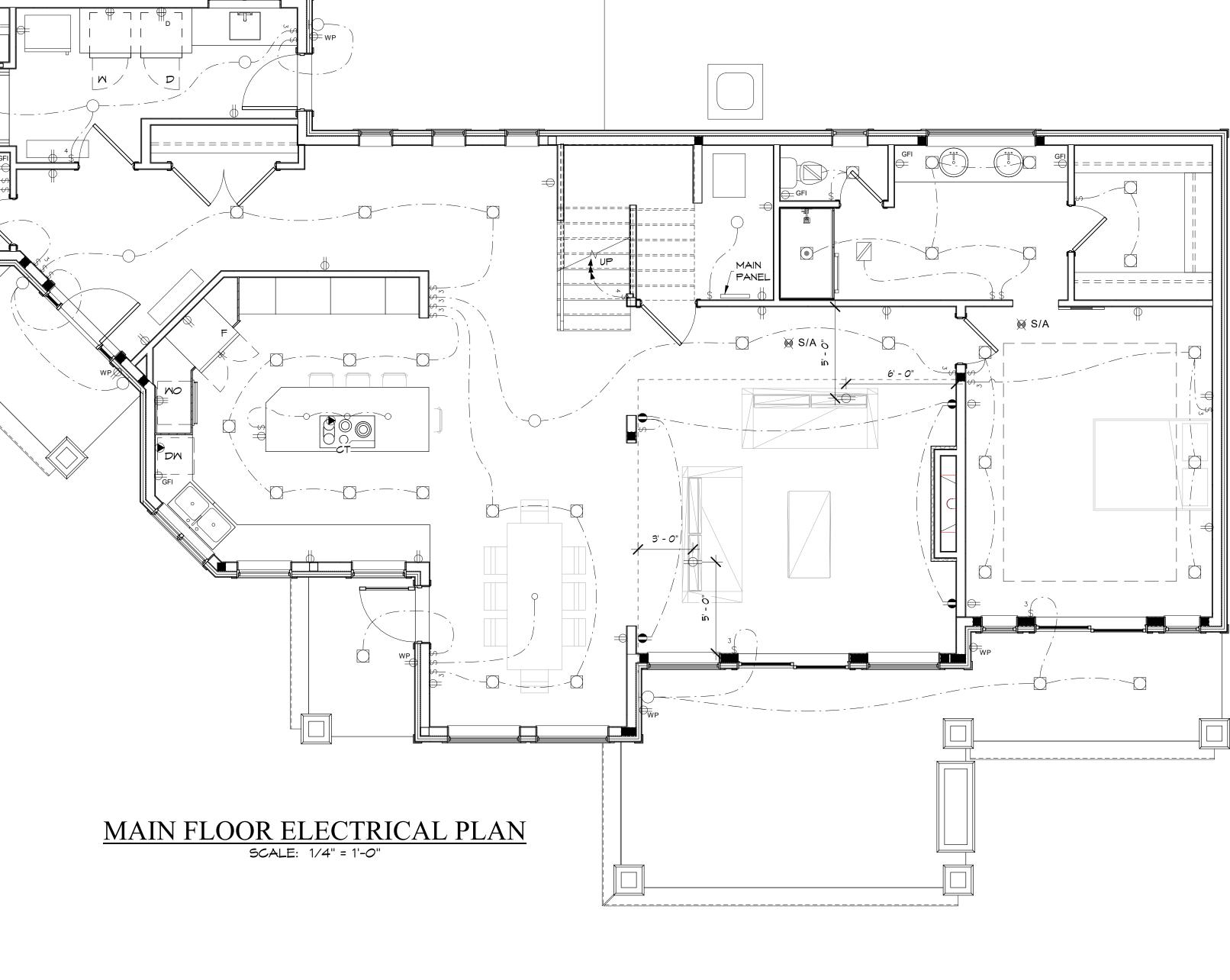
M3					
COMPON	ENT				
EXT.					
_					
-					
WATERPR	ROOF MEMBRANE				
3-1/4" EF	'S FOAM				
6" CONCI	6" CONCRETE CORE				
3-1/4" EF	'S FOAM				
1/2" GMB					
INTERIOR	R AIR FILM - WALL				
-					
-					
IN1.					
	TOTAL EFFECTIV				

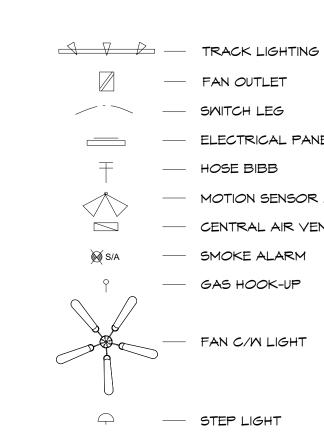


F2			
	<i>≱</i> ^{1'-4"} _ <i>≱</i> IENT		
-			
- INTERIOR AIR FILM - FLOOR FLOORING - HARDWOOD			
3/4" PLYWOOD SUBFLOOR 2X10 FLOOR JOISTS @ 16" O.(W/ 6" 2 LB SPRAY FOAM			
METAL S EXTERIO	OFFIT R AIR FILM		
	TOTAL EFFEC		
	MINIMUM (WITH I		



ELECTRICAL LEGEND:		^	
		\$_4	 4-WAY SWITCH
	ATED BY A LIGHT SMITCH	s_5	 5-MAY SMITCH
SPLIT RECEPTACLE,	HALF ACTIVATED BY A SWITCH	\$ ₀	 DIMMER SWITCH
	E OUTLET	\$	 TIMER SWITCH
	CLE OUTLET	\bigcirc	 RECESSED LIGHTING
		0	 PENDANT LIGHTING
RECEPTACLE OUTLE	Т	\bigcirc	 CEILING LIGHT
		0	
\oplus^{WP} — water proof rece	EPTACLE	Ű	UNDER COUNTER
Ū.		S	 SOFFIT LIGHT
	IILEI	(M)	 MOTION ACTIVATED LIGHT
\oplus^{s} — SOFFIT RECEPTACLE	1	<u> </u>	
HARD-WIRED APPLIA	NCE RECEPTACLE	F	 EXHAUST FAN W/ FIXTURE
-		Ð	 MALL LIGHT
\$ — SINGLE POLE SWITCH	4		WALL LIGHT (BATHROOM MIRROR)
s_3 — 3-may smitch			 VALL LIGHT (DATHROOM MIRROR)
			 FLOURESCENT (OR LED) LIGHT





----- ELECTRICAL PANEL - MOTION SENSOR LIGHTING ---- CENTRAL AIR VENT ---- SMOKE ALARM ---- GAS HOOK-UP

— FAN C/W LIGHT

- STEP LIGHT

