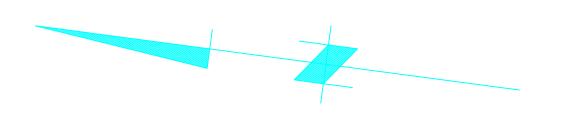


SHEET LEGEND A1 - SITE PLAN & NOTES **A2 - ELEVATIONS** A3 - MAIN FLOOR PLAN A4 - BASEMENT PLAN **A5 - FOUNDATION PLAN** A6 - ROOF & DETAILS A7 - SECTIONS & WINDOW/DOOR SCHEDULES



LOT SETBACKS

FRONT - 6M Limiting Distance - 16m to center of road Back - 6M Limiting Distance - 21.09m to Rear Prop line SIDE 1.5M Limiting Distance 3.11m right, 2.31m left

LOT COVERAGE:

LOT AREA: 9372 SQ FT.

MAIN FLOOR AREA: 1801 SQ FT.

DEV. BASEMENT FLOOR: 1379 SQ FT.

SUITE AREA: N/A

TOTAL FOOTPRINT AREA: 2434 SQ FT.

SITE PLAN

RATIO: 26%

ALLOWABLE: 45.0%

- HEIGHT OF THE DEADBOLT TO RESIST SPREADING.
- FLOOR TO BE CONSTRUCTED OF SAFETY GLASS.

- BY APPROPRIATE LOCAL MUNICIPALITY.

GENERAL NOTES

- ZONING, AND BYLAWS THAT MAY APPLY.
- CREEK IMMEDIATELY
- **EXCEPTION OF WALL STUDS**
- DAYS.
- **BITUMINOUS MATERIAL.**
- RADON GAS UNDER INTERIOR SLABS.
- ACCORDING TO LOCAL STANDARDS.
- TO BUILDING.
- FABRICATION.
- SERVICES WITHIN BUILDING ENVELOPE.

1. ALL CONSTRUCTION MATERIALS & WORKMANSHIP TO BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE B.C. BUILDING CODE PLUMBING CODE, ELECTRICAL CODE, AND ALL OTHER CODES

2. THE CONTRACTOR AND ALL SUB-TRADES ARE RESPONSIBLE FOR THE REVIEW OF ALL DRAWINGS AND SITE CONDITIONS PRIOR TO COMMENCING WORK OR ORDERING ANY MATERIAL, AND SHALL REPORT AND DISCREPANCIES THAT AFFECT DESIGN TO WOOD

3. ALL FRAMING MATERIAL TO BE S.P.F. #2 OR BETTER WITH THE

4. CONCRETE FOOTINGS AND WALLS TO BE A MINIMUM 28MPA @28 DAYS. FLOOR SLABS AND SIDEWALKS TO BE MINIMUM 32MPA @ 28

5. ALL CONCRETE FOOTINGS TO BE PLACED ON ORIGINAL UNDISTURBED GROUND, FREE OF ALL ORGANIC, FROZEN OR FROSTY MATERIAL

6. DAMP PROOF FOUNDATION WALLS BELOW GRADE WITH 2 COATS OF

7. 6 MIL. ULTRAVIOLET RESISTANT POLY VAPOUR BARRIER ON A.) 4" OF GRANULAR COMPACTABLE FILL UNDER EXTERIOR OR GARAGE SLABS. OR B.) 4" OF $\frac{3}{4}$ " DRAIN ROCK OR OTHER MATERIAL SUITABLE FOR MOVEMENT OF

8. ALL FOUNDATION DRAINS TO BE 4" PERFORATED P.V.C. WITH FILTER CLOTH AND MINIMUM 6" DRAIN ROCK, DRAINED TO MUNICPAL SERVICES

9. GRADE TO BE SLOPED AWAY FROM BUILDING AT ALL LOCATIONS ADJACENT

10. ALL TRUSSES I-JOISTS, BEAMS OR OTHER STRUCTURAL MEMBERS NOT COVERED IN B.C. BUILDING CODE TO BE DESIGNED AND ENGINEERED BY TRUSS MANUFACTURER OR STRUCTURAL ENGINEER PRIOR TO ANY

11. CONTRACTOR TO VERIFY ALL PROPERTY AND FOUNDATION LINES WITH A LEGAL LAND SURVEYOR PRIOR TO PLACING FOOTINGS OR RUNNING

12. ALL ROOF SPACES TO BE VENTILATED WITH SOFFIT AND ROOF VENTS WITH A MINIMUM DISTRIBUTION AREA OF 1/300. A MINIMUM OF 25% OF VENTS TO BE LOCATED AT ROOF. MINIMUM 25% TO BE LOCATED AT SOFFIT.

13. DOOR FRAMES AT ENTRANCES AND EXTERIOR SPACES TO DWELLING UNITS SHALL BE SOLIDLY BLOCKED BETWEEN DOOR FRAME AND STUDS AT THE

14. ALL GLASS IN DOORS, SIDELITES OR WINDOWS WITHIN 12" OF FINISHED

15. RAIN WATER LEADERS NOT SHOWN ON PLAN . CONTRACTOR TO DETERMINE EXACT LOCATION SUITABLE TO SITE AND MUNICIPAL DRAINAGE.

16. ELECTRICAL LOCATIONS TO BE DETERMINED BY ELECTRICAL CONTRACTOR WITH THE APPROVAL OF THE HOME OWNER OR GENERAL CONTRACTOR AND IN ACCORDANCE WITH CURRENT ELECTRICAL CODE.

17. APPROVED SMOKE ALARMS TO BE INSTALLED WITH LOCATION APPROVED

18. REFER TO LAOUTS AND SPECIFICATIONS FROM STRUCTURAL ENGINEER, FLOOR JOIST SUPPLIER, AND ROOF TRUSS MANUFACTURER FOR BEAM, POST, FOOTING LOCATIONS AND SIZES. ENSURE PROPER BEARING IS PROVIDED FOR ALL POINT LOADS. ANY STRUCTURAL SPECIFICATIONS SHOWN ON WOOD CREEK PLANS ARE ESTIMATES ONLY AND MAY NOT ACCURATELY REPRESENT LOADING AND SIZING, OR MAY NOT INCLUDE POINT LOADS OR STRUCTURAL MEMBERS DESIGNED BY OTHERS.

NOTE: ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCA CODES AND BYLAWS, DESIGN OF FOUNDATION AND FOOTINGS TO I MODIFIED TO SUIT LOCAL SOII CONDITIONS AS REQUIRED DO NOT SCALE DRAWINGS WRITTE WOOD CREEK CONSTRUCTION AND MA BE USED ONLY FOR THE PURPOSE FOR WHICH IT IS LOANED BY THE COMPAN

NO.	DATE	DESCRIPTION
A1-A7	JUNE 22/21	RET WALLS, WINDOW SIZES, WET BAR RAISE GARAGE
A5	JULY 5/21	GARAGE FOUNDATION JOG FIXED
A3	AUG 3/21	OPEN TO BELOW REMOVED
A4	AUG 16/21	WINDOWS
REVIS	SIONS	



-Building with Confidence

CIVIC ADDRESS

1550 - 2ND ST SE

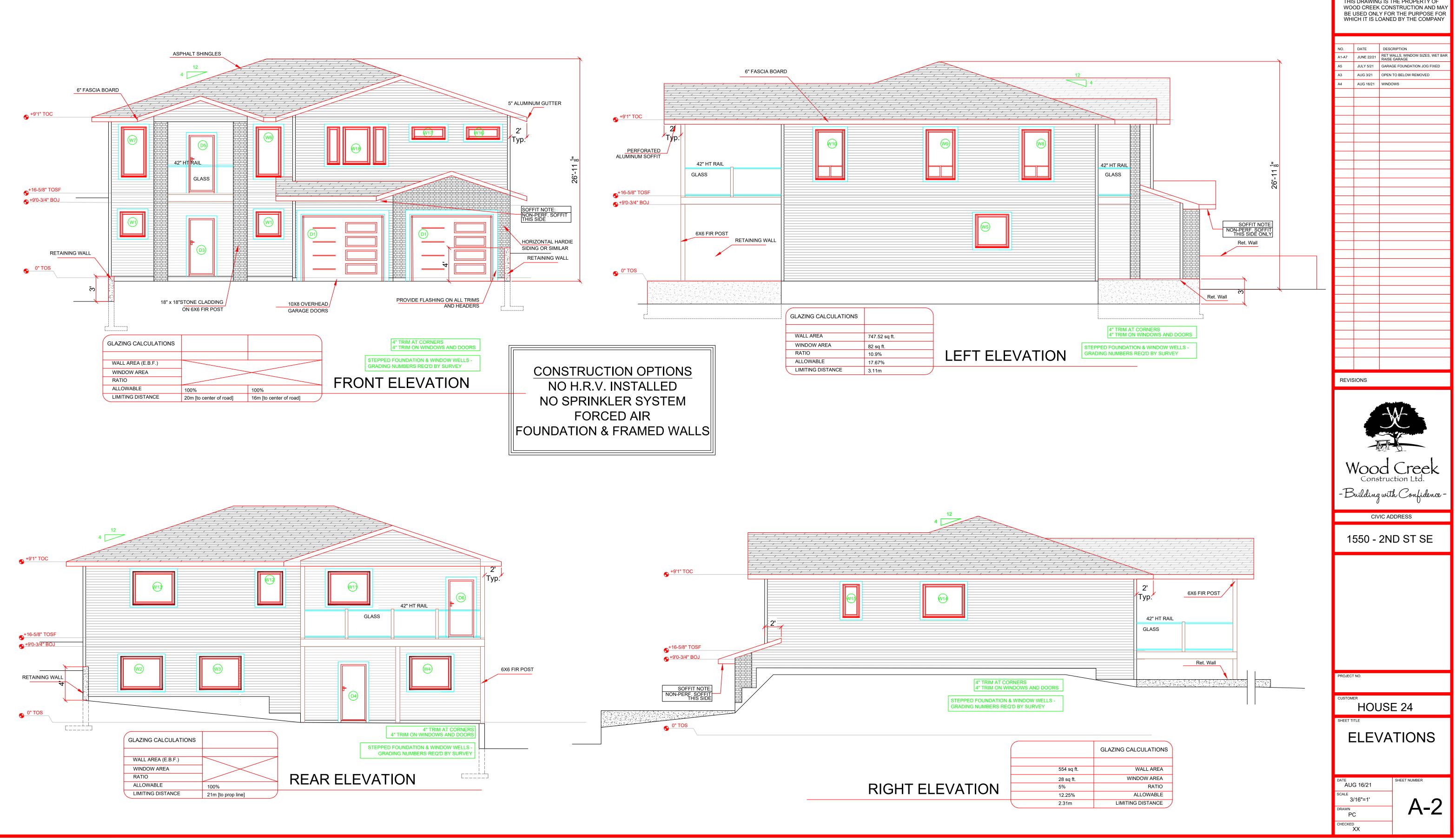
TITLE	
SITE PLAN	8
GENERAL	-
NOTES	

A-1

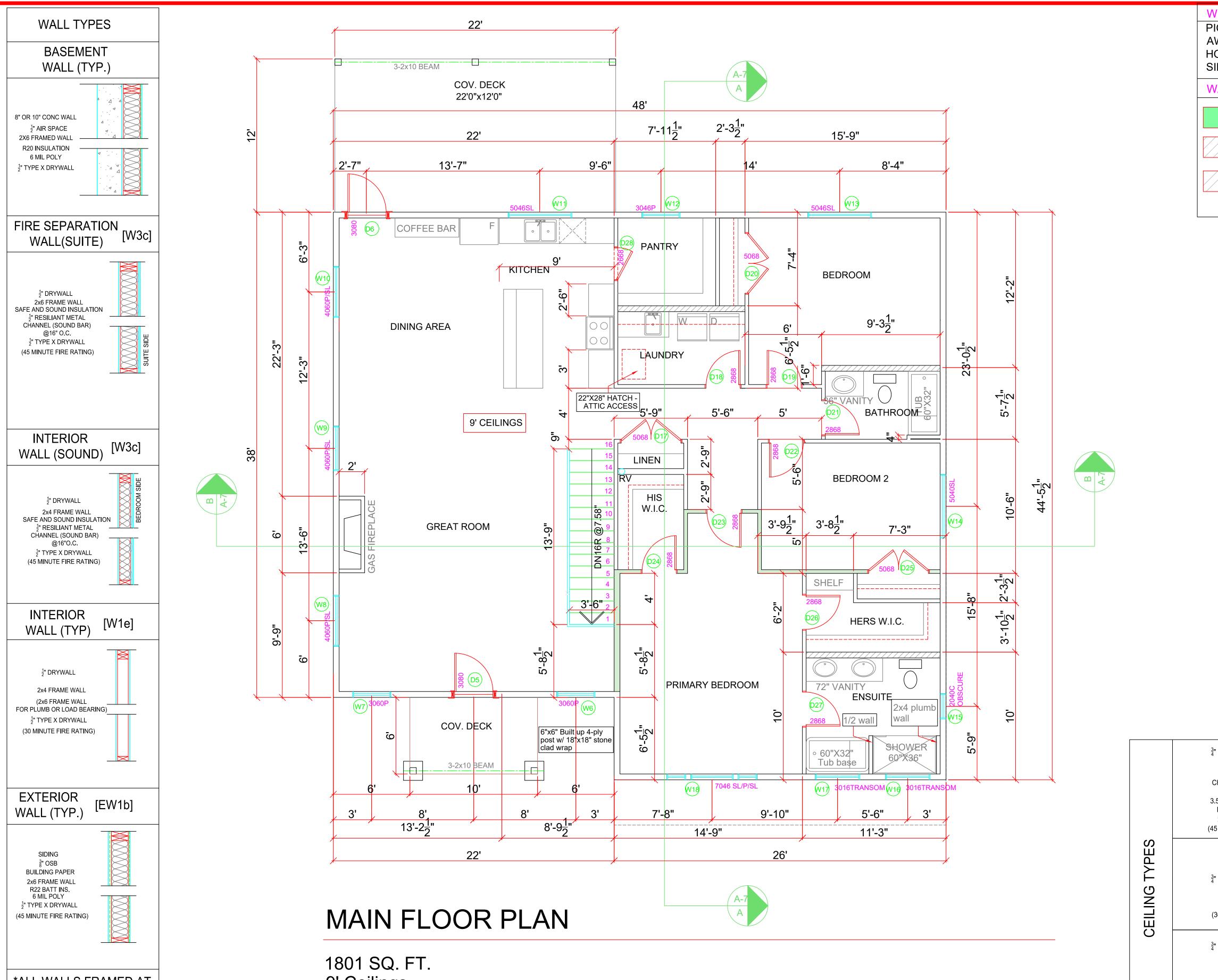
HOUSE 24

AUG 16/21

RAWN PC CHECKED XX



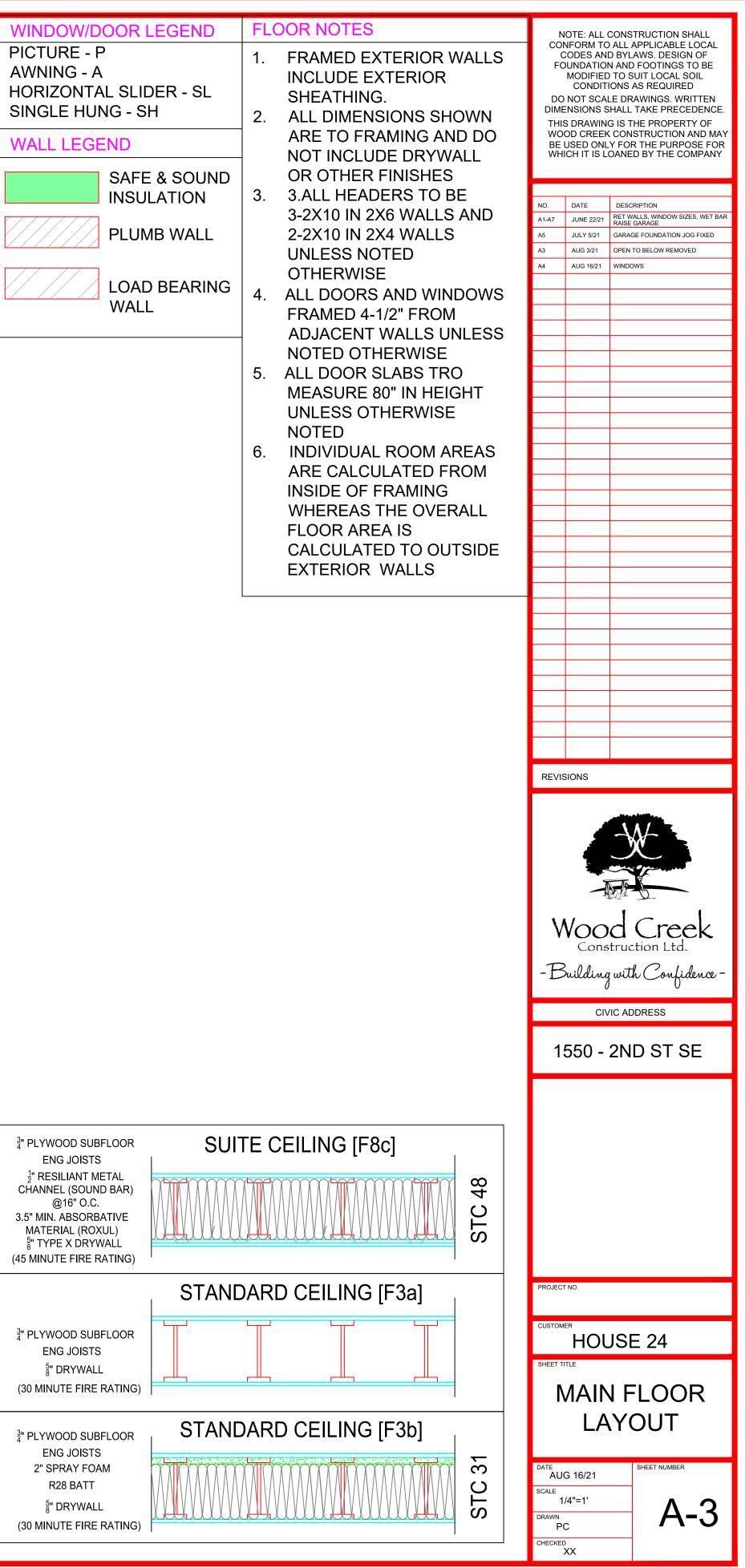
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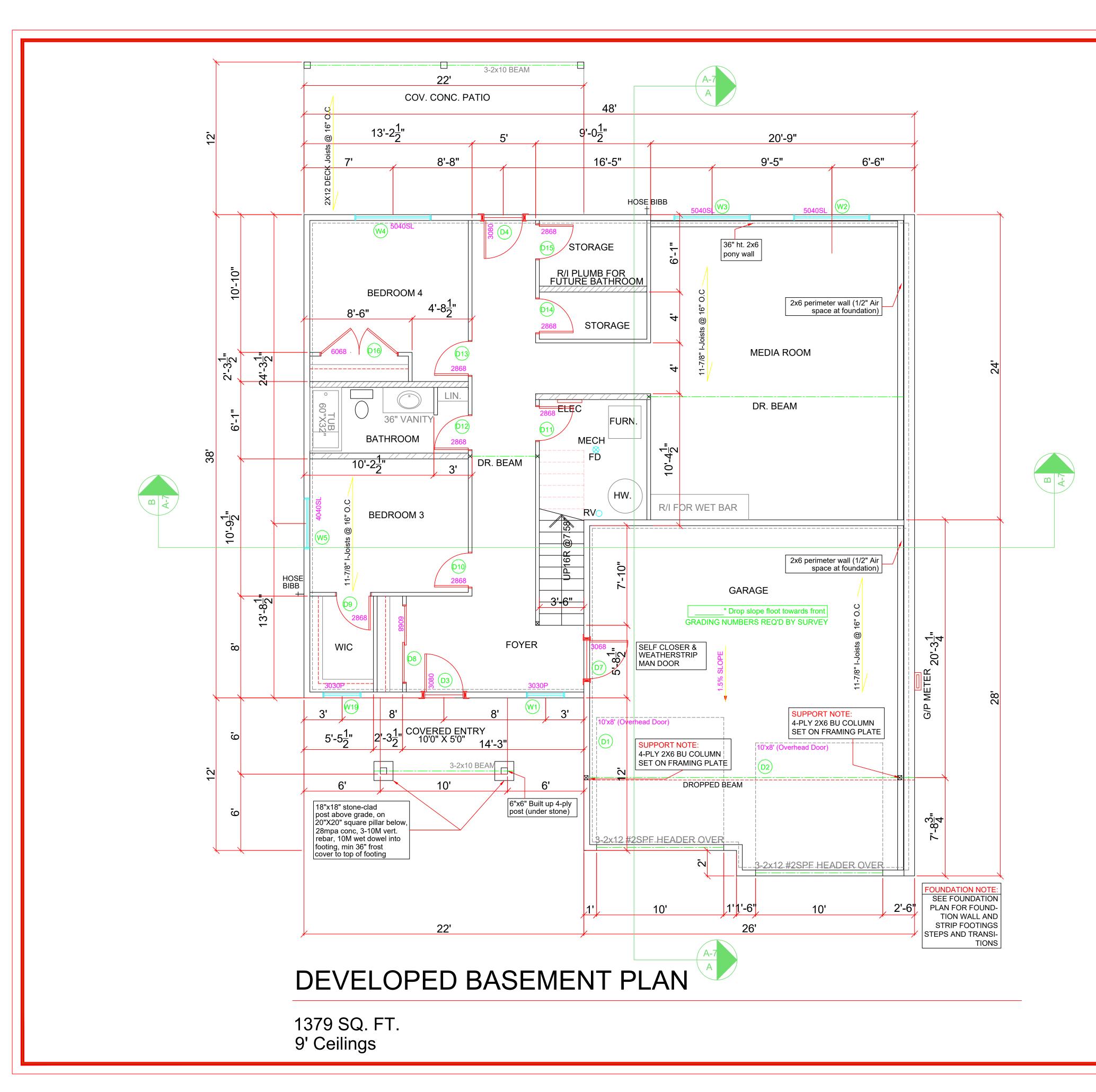


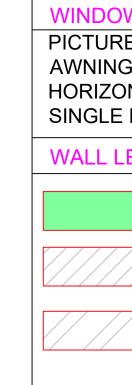
*ALL WALLS FRAMED AT 16" O.C. UNLESS **OTHERWISE NOTED***

9' Ceilings

PICTURE - P AWNING - A







DW/DOOR LEGEND RE - P G - A DNTAL SLIDER - SL HUNG - SH LEGEND SAFE & SOUND INSULATION PLUMB WALL INAL LOAD BEARING WALL	 FLOOR NOTES 1. FRAMED EXTERIOR WALLS INCLUDE EXTERIOR SHEATHING. 2. ALL DIMENSIONS SHOWN ARE TO FRAMING AND DO NOT INCLUDE DRYWALL OR OTHER FINISHES 3. 3.ALL HEADERS TO BE 3-2X10 IN 2X6 WALLS AND 2-2X10 IN 2X6 WALLS AND 2-2X10 IN 2X4 WALLS UNLESS NOTED OTHERWISE 4. ALL DOORS AND WINDOWS FRAMED 4-1/2" FROM ADJACENT WALLS UNLESS NOTED OTHERWISE 5. ALL DOOR SLABS TRO MEASURE 80" IN HEIGHT UNLESS OTHERWISE NOTED 6. INDIVIDUAL ROOM AREAS ARE CALCULATED FROM INSIDE OF FRAMING WHEREAS THE OVERALL FLOOR AREA IS CALCULATED TO OUTSIDE EXTERIOR WALLS 	CO (FC DIME THI WO BE	NFORM TO CODES AN DUNDATIO MODIFIEL CONDIT NOT SCA ENSIONS S S DRAWIN OD CREEF USED ONI	CONSTRUCTION SHALL D ALL APPLICABLE LOCAL D BYLAWS. DESIGN OF N AND FOOTINGS TO BE TO SUIT LOCAL SOIL IONS AS REQUIRED LE DRAWINGS. WRITTEN SHALL TAKE PRECEDENCE. G IS THE PROPERTY OF CONSTRUCTION AND MAY FOR THE PURPOSE FOR ONED BY THE COMPANY FOR THE PURPOSE FOR GARAGE FOUNDATION JOG FIXED OPEN TO BELOW REMOVED WINDOWS GODIENT GINTON
		V -E	Suilding	ALD OT OF
PROVIE (CONTIN FURNACE CONTINU FOR M	NTILATION NOTE DE EXHAUST FAN NUOUS FAN), AND E FAN TO PROVIDE OUS VENTILATION MAIN DWELLING	PROJEC CUSTOM SHEET T	T NO. HOU ITLE BAS	2ND ST SE JSE 24
(CONTIN	DE EXHAUST FAN NUOUS FAN), AND V FOR SUITE	SCALE 1 DRAWN P CHECKED	G 16/21 /4"=1' C	YOUT SHEET NUMBER A-4

SLAB NOTE:

4" conc slab, min 32MPA conc, 6 mil poly vapour barrier sealed to walls, 4" drain rock or other clean material suitable for the movement of radon gas in mech room only

BACKFILL NOTE:

BACKFILL HEIGHT CANNOT EXCEED REQ-UIREMENTS AS PER SUBSECTION 9.15.4 OF BC BLDG CODE

FINAL GRADE NOTE:

final grades and stepped foundation to be determined by Wood Creek

FOOTING NOTE #1

6"x24" conc strip footing min 28MPA concrete, 2-10M bars around 10" foundation wall

FOOTING NOTE #2

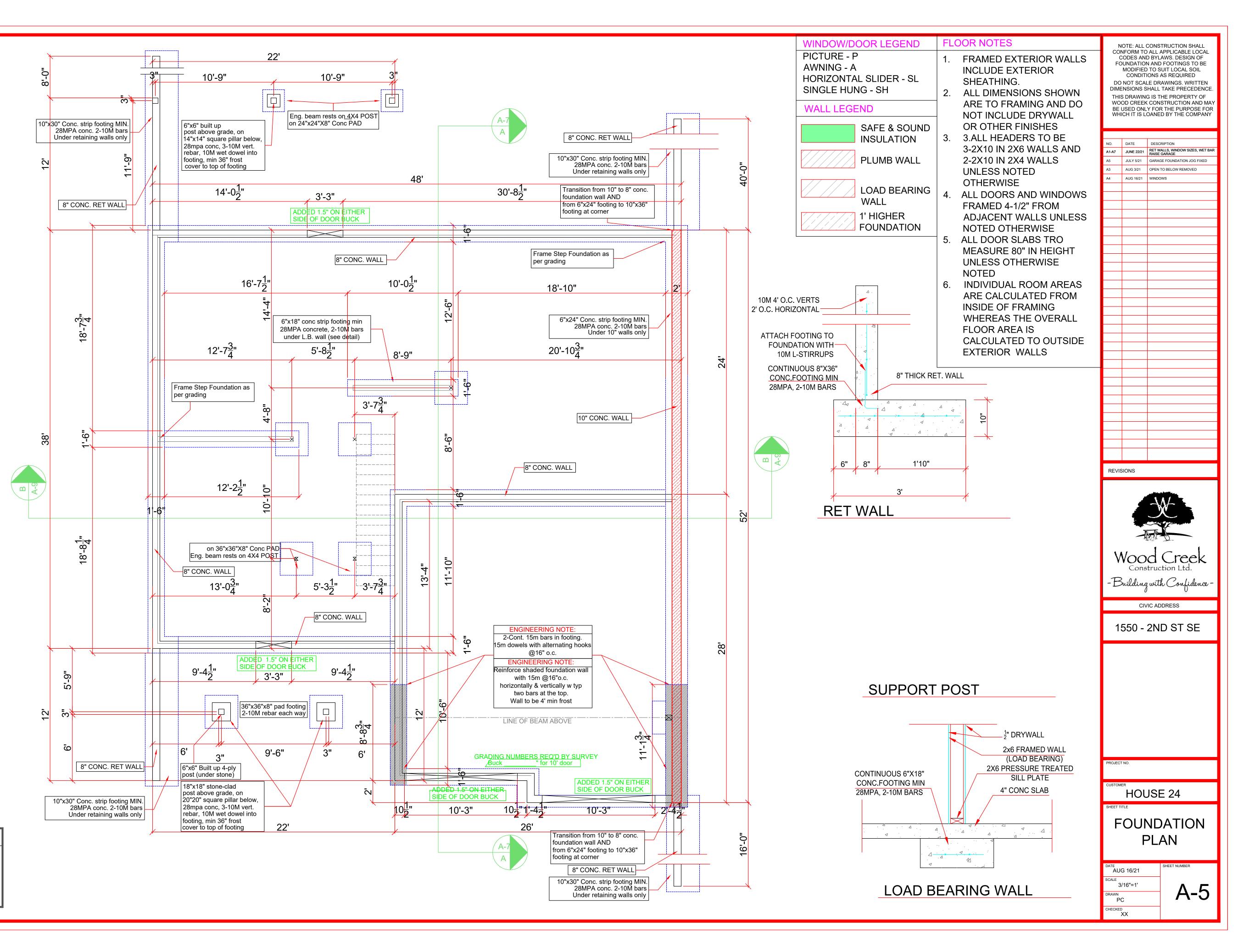
6"x18" conc strip footing min 28MPA concrete, 2-10M bars around 8" foundation wall

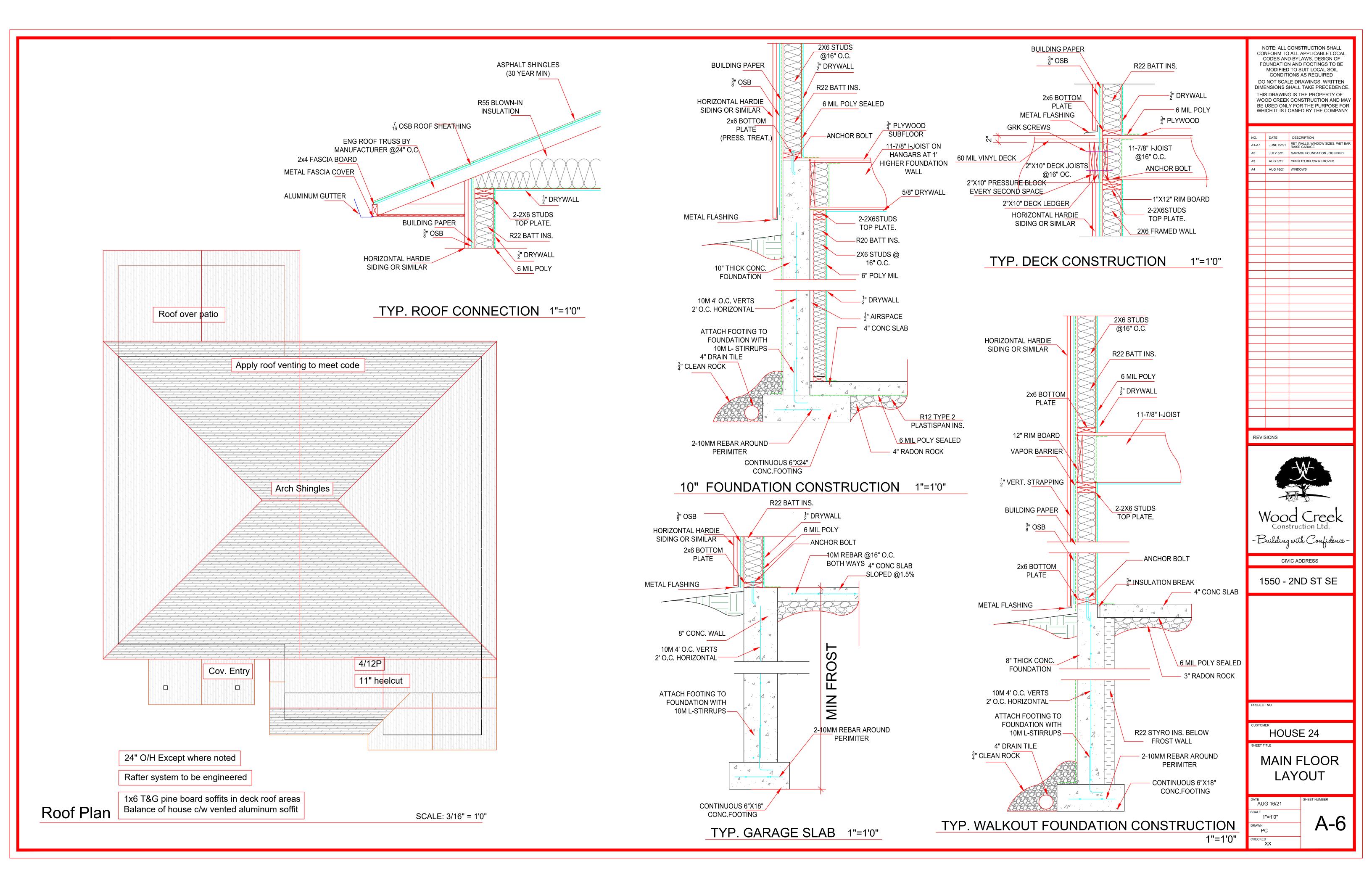
VENTILATION NOTE

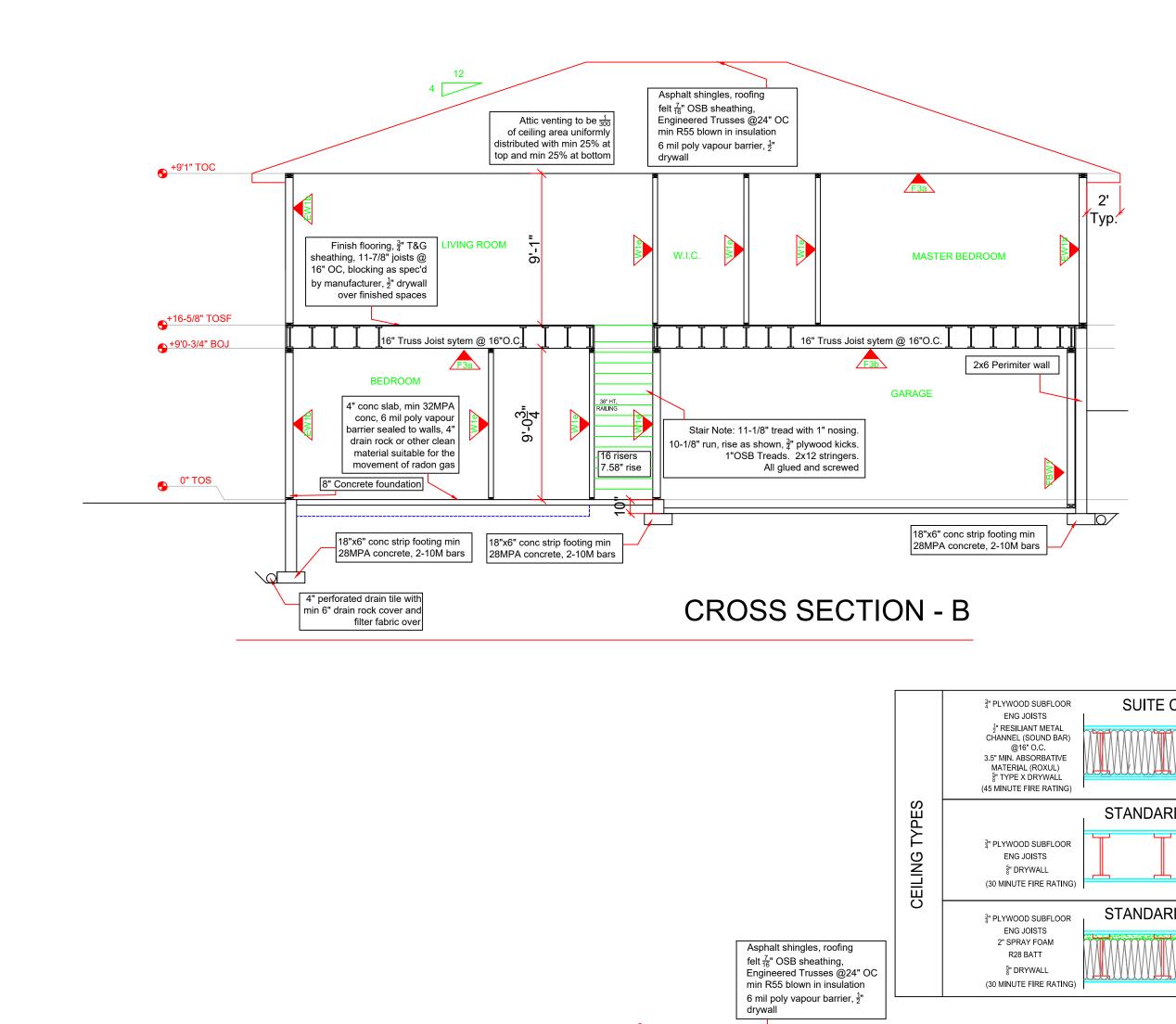
PROVIDE EXHAUST FAN AND FURNACE FAN TO FOR CONTINUOUS VENTILATION

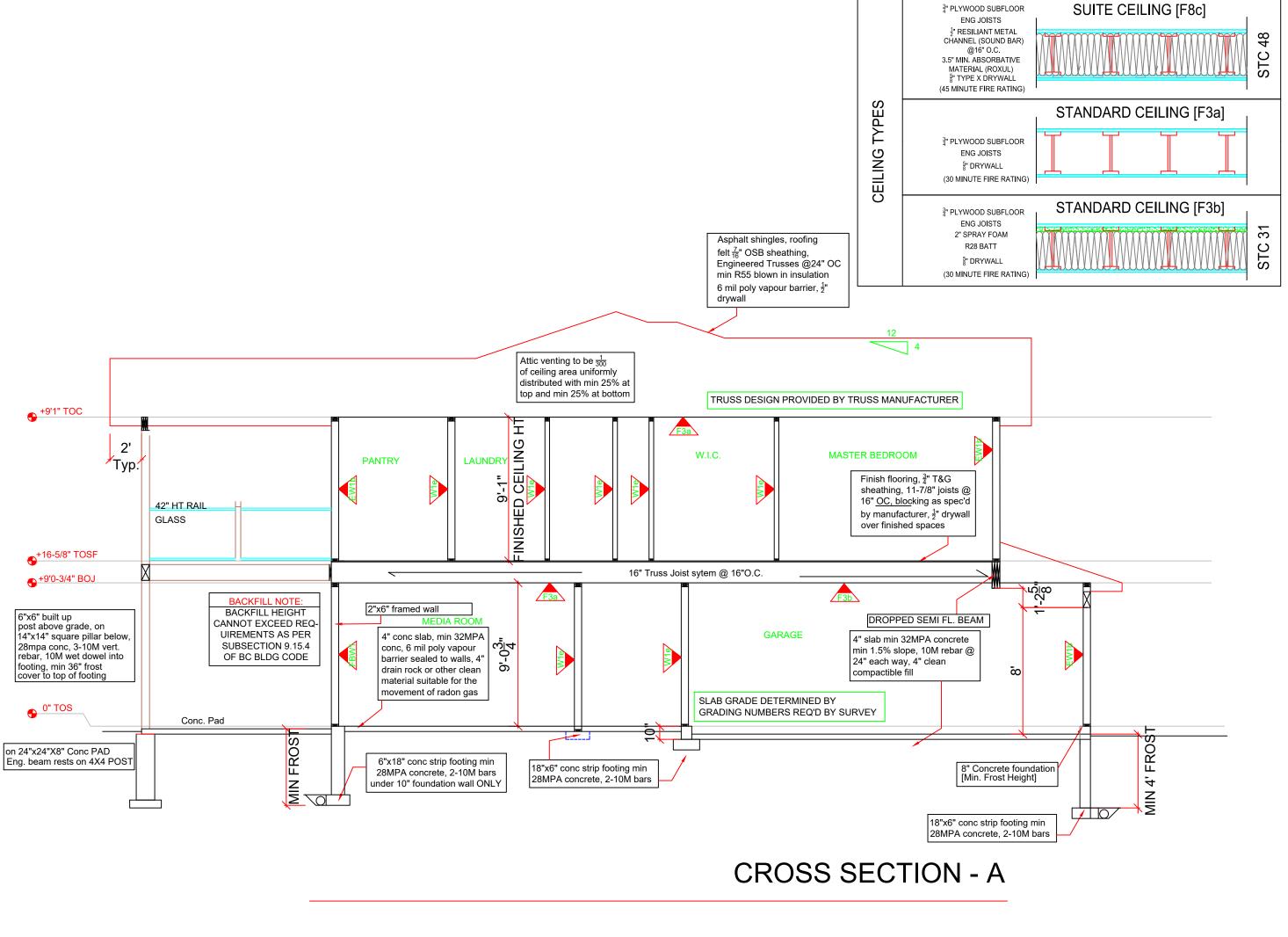
ENGINEERING NOTE

TAKE PHOTOS AND SEND TO ENGINEER BEFORE POURING GARAGE CONC/FOOTING



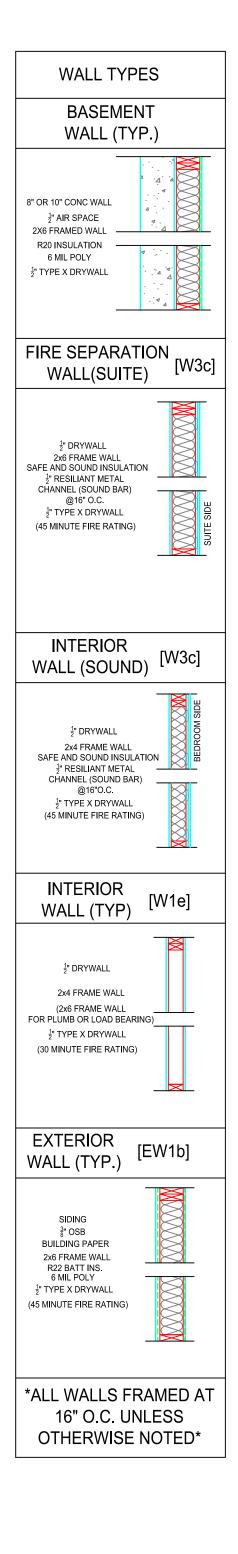






	MARK		SASH OPERATION	RO WIDTH	RO HEIGHT	COMMENTS
W	1	3030	PICTURE	3'0"	3'0"	
W	2	5040	SLIDER	5'0"	5'0"	
W	3	5040	SLIDER	5'0"	5'0"	
W	4	5040	SLIDER	5'0"	5'0"	
W	5	4040	SLIDER	4'0"	4'0"	
W	6	3060	PICTURE	3'0"	6'0"	
W	7	3060	PICTURE	3'0"	6'0"	
W	8	4060	PICTURE/SLIDER	4'0"	6'0"	
W	9	4060	PICTURE/SLIDER	4'0"	6'0"	
W	10	4060	PICTURE/SLIDER	4'0"	6'0"	
W	11	5046	SLIDER	5'0"	4'6"	
W	12	3046	PICTURE	3'0"	4'6"	
W	13	5046	SLIDER	5'0"	4'6"	
W	14	5040	SLIDER	5'0"	4'0"	
W	15	2040	CASEMENT	2'0"	4'0"	OBSCURE
W	16	3016	TRANSOM	3'0"	1'6"	
W	17	3016	TRANSOM	3'0"	1'6"	
W	18	7046	SLIDER/PICTURE/SLIDER	7'0"	4'6"	
W	19	3030	PICTURE	3'0"	3'0"	

			DOOR	SCHEDUL	.E		
	MARK		DOOR OPERATION	RO WIDTH	RO HEIGHT	SIDE LITES	LOCATION
D	1	10080	OVERHEAD DOOR	10'0"	8'0"		GARAGE DOOR
D	2	10080	OVERHEAD DOOR	10'0"	8'0"		GARAGE DOOR
D	3	3080	SWING SIMPLE	3'2-3/8"	8'0"		ENTRY DOOR
D	4	3080	SWING SIMPLE	3'2-3/8"	8'0"		BASEMENT ENTRY
D	5	3080	SWING SIMPLE	3'2-3/8"	8'0"		COVERED DECK
D	6	3080	SWING SIMPLE	3'2-3/8"	8'0"		COVERED DECK
D	7	3068	SWING SIMPLE	3'2-3/8"	6'11"		GARAGE MAN DOOR
D	8	6068	SLIDE BI-PASS	6'	6'11"		ENTRY CLOSET
D	9	2868	SWING SIMPLE	2'8"	6'11"		WIC
D	10	2868	SWING SIMPLE	2'8"	6'11"		BEDROOM 3
D	11	2868	SWING SIMPLE	2'8"	6'11"		MECH
D	12	2868	SWING SIMPLE	2'8"	6'11"		BASEMENT BATH
D	13	2868	SWING SIMPLE	2'8"	6'11"		BEDROOM 4
D	14	2868	SWING SIMPLE	2'8"	6'11"		STORAGE
D	15	2868	SWING SIMPLE	2'8"	6'11"		STORAGE/FUT. BATH
D	16	6068	SWING BI-PART	6'	6'11"		BEDROOM 4 CLOSET
D	17	5068	SWING BI-PART	5'0"	6'11"		LINEN
D	18	2868	SWING SIMPLE	2'8"	6'11"		LAUNDRY
D	19	2868	SWING SIMPLE	2'8"	6'11"		BEDROOM 1
D	20	5068	SWING BI-PART	5'0"	6'11"		BEDROOM 1 CLOSET
D	21	2868	SWING SIMPLE	2'8"	6'11"		BATHROOM
D	22	2868	SWING SIMPLE	2'8"	6'11"		BEDROOM 2
D	23	2868	SWING SIMPLE	2'8"	6'11"		MASTER BED
D	24	2868	SWING SIMPLE	2'8"	6'11"		W.I.C.
D	25	5068	SWING BI-PART	5'0"	6'11"		BEDROOM 2 CLOSET
D	26	2868	SWING SIMPLE	2'8"	6'11"		W.I.C.
D	27	2868	SWING SIMPLE	2'8"	6'11"		ENSUITE
D	28	2868	SWING SIMPLE	2'8"	6'11"		PANTRY



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A3 A4	AUG 3/21 AUG 16/21	OPEN TO BELOW REMOVED
	100 10/21	
REVIS	SIONS	
		d Creek struction Ltd. with Confidence -
	building	
-B	puilding CIV	y with Confidence -
-B	puilding CIV	g with Confidence - vic address
-B	puilding CIV	g with Confidence - vic address
-B	Duilding CIV 550 -	y with Confidence - VIC ADDRESS 2ND ST SE
-B 1: PROJECT	Suilding СIV 550 - 550 -	g with Confidence - vic address
-B 1: PROJECT CUSTOME SHEET TI	Suilding CIV 550 - 550 -	y with Confidence - VIC ADDRESS 2ND ST SE
	риіldіng СІV 550 - 550 - 550 - 6 НОЦ тье SEC SCH 3 16/21 (4"=1'	y with Confidence - IIC ADDRESS 2ND ST SE 3ND ST SE JSE 24 TIONS &