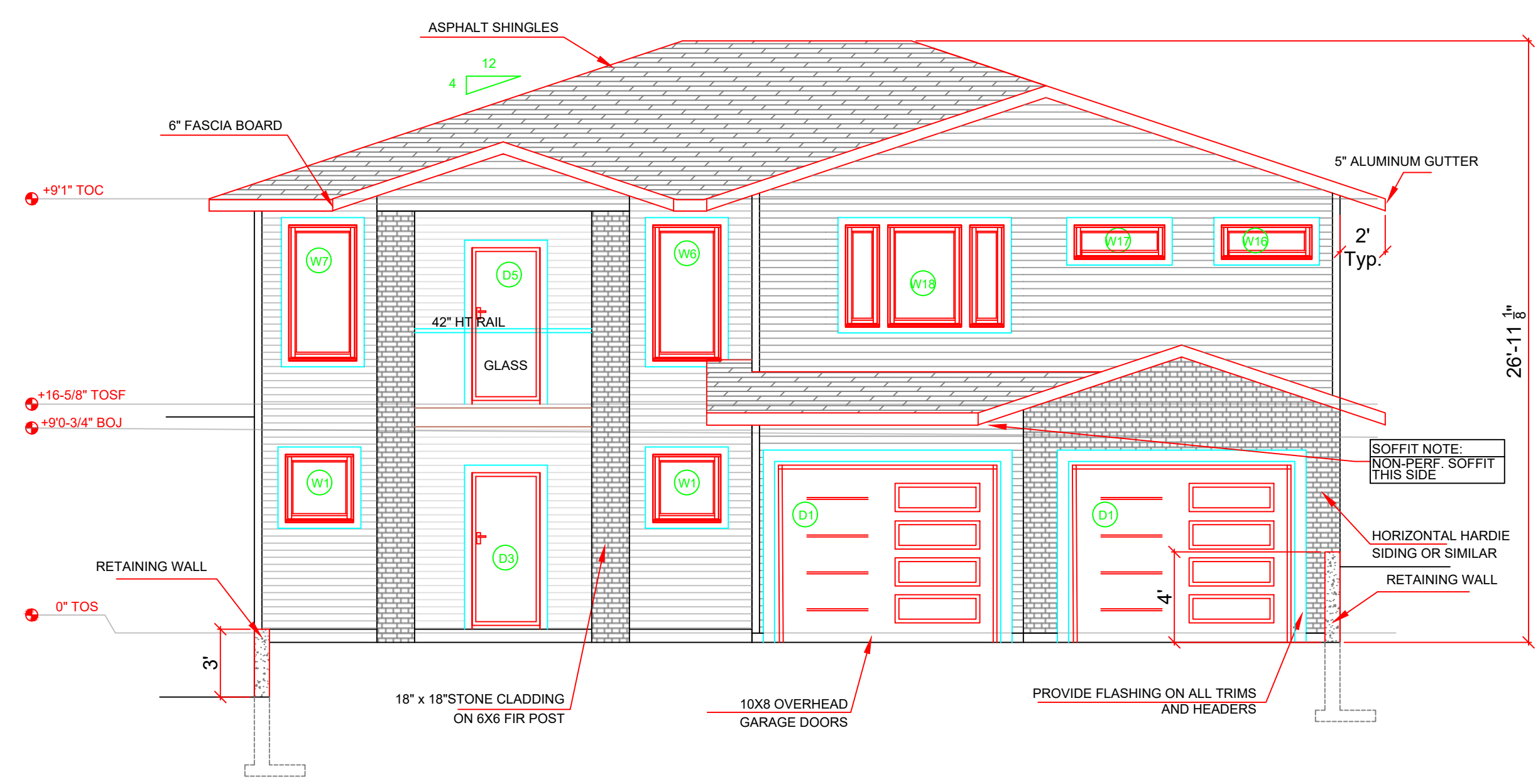


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NO.	DATE	DESCRIPTION
A1-A7	JUNE 22/21	RET WALLS, WINDOW SIZES, WET BAR RAISE GARAGE
A5	JULY 5/21	GARAGE FOUNDATION JOG FIXED
A3	AUG 3/21	OPEN TO BELOW REMOVED
A4	AUG 16/21	WINDOWS

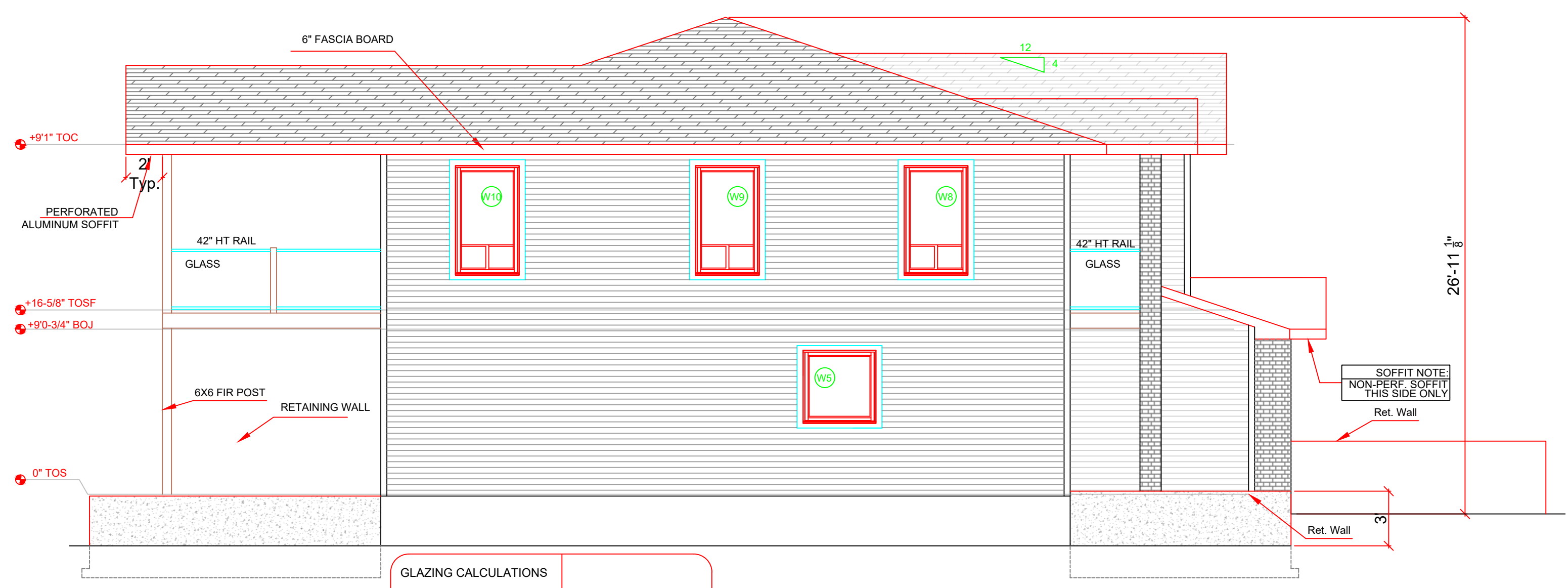


GLAZING CALCULATIONS	
WALL AREA (E.B.F.)	
WINDOW AREA	
RATIO	
ALLOWABLE	100%
LIMITING DISTANCE	20m [to center of road]

4" TRIM AT CORNERS
4" TRIM ON WINDOWS AND DOORS
STEPPED FOUNDATION & WINDOW WELLS - GRADING NUMBERS REQ'D BY SURVEY

FRONT ELEVATION

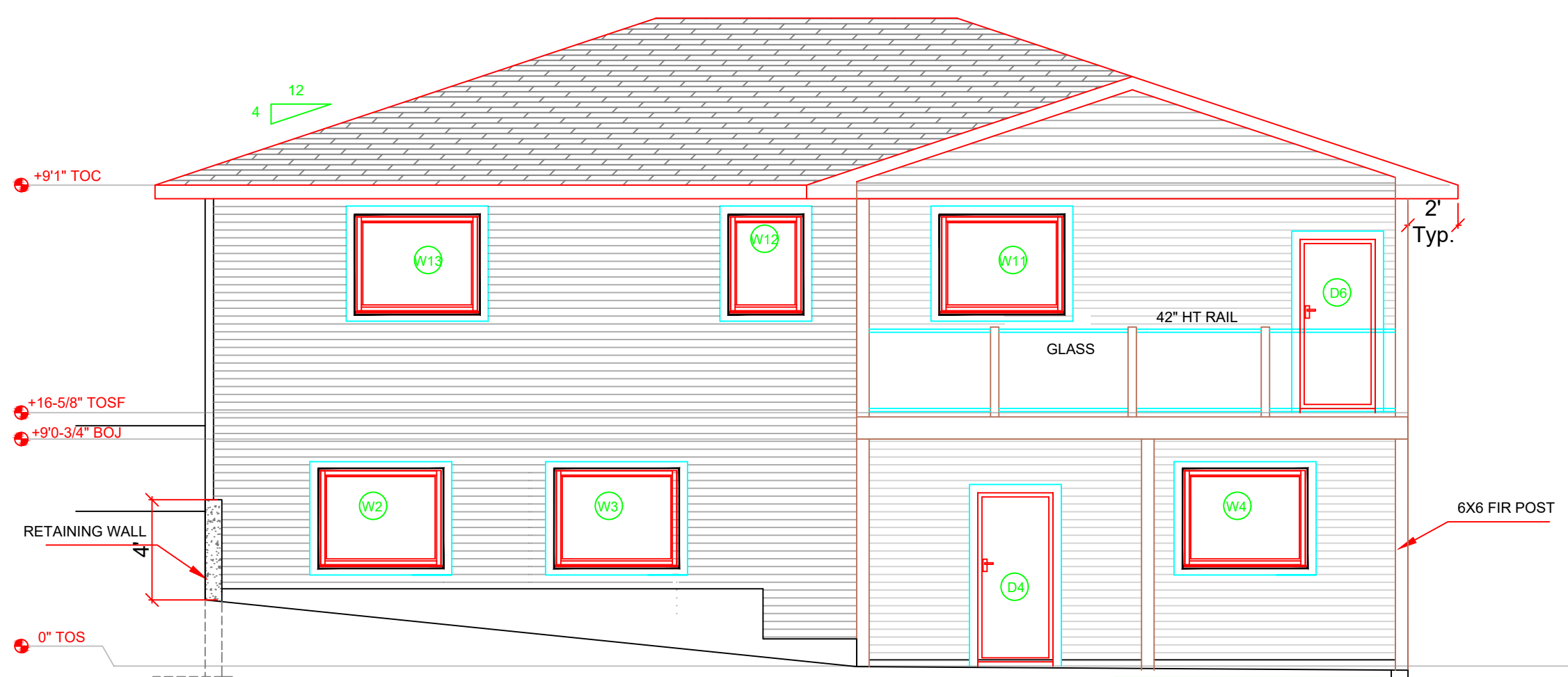
CONSTRUCTION OPTIONS
NO H.R.V. INSTALLED
NO SPRINKLER SYSTEM
FORCED AIR
FOUNDATION & FRAMED WALLS



GLAZING CALCULATIONS	
WALL AREA	747.52 sq. ft.
WINDOW AREA	82 sq. ft.
RATIO	10.9%
ALLOWABLE	17.67%
LIMITING DISTANCE	3.11m

LEFT ELEVATION

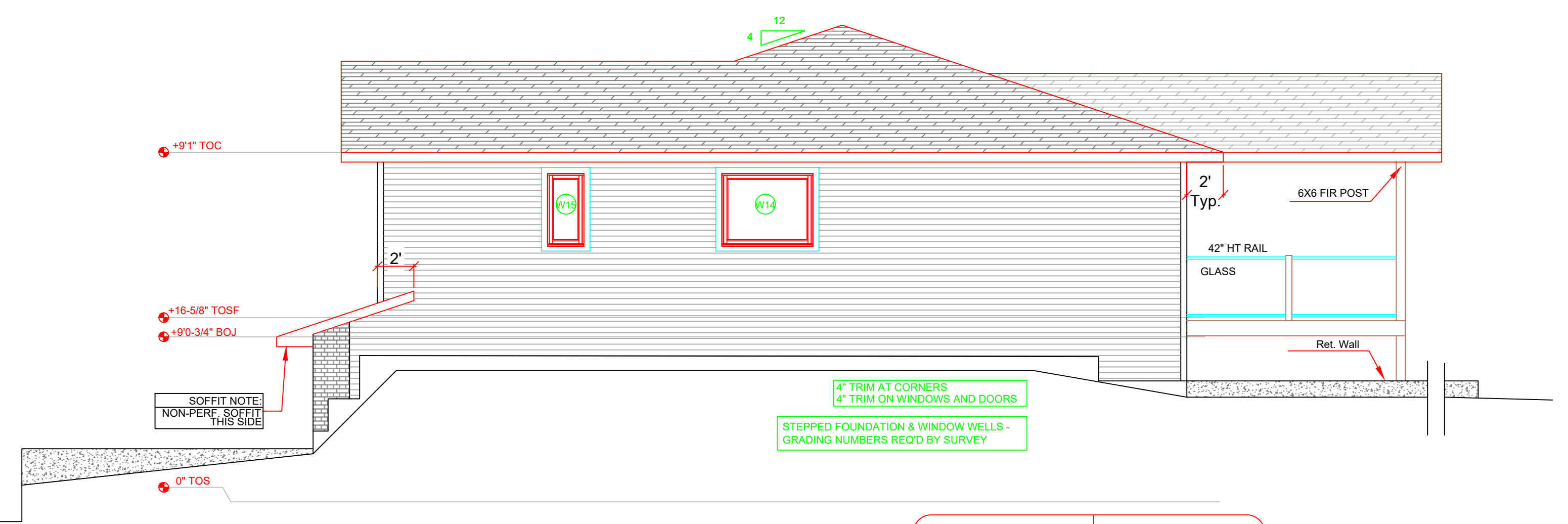
4" TRIM AT CORNERS
4" TRIM ON WINDOWS AND DOORS
STEPPED FOUNDATION & WINDOW WELLS - GRADING NUMBERS REQ'D BY SURVEY



GLAZING CALCULATIONS	
WALL AREA (E.B.F.)	
WINDOW AREA	
RATIO	
ALLOWABLE	100%
LIMITING DISTANCE	21m [to prop line]

4" TRIM AT CORNERS
4" TRIM ON WINDOWS AND DOORS
STEPPED FOUNDATION & WINDOW WELLS - GRADING NUMBERS REQ'D BY SURVEY

REAR ELEVATION



GLAZING CALCULATIONS	
WALL AREA	554 sq. ft.
WINDOW AREA	28 sq. ft.
RATIO	5%
ALLOWABLE	12.25%
LIMITING DISTANCE	2.31m

RIGHT ELEVATION

REVISIONS



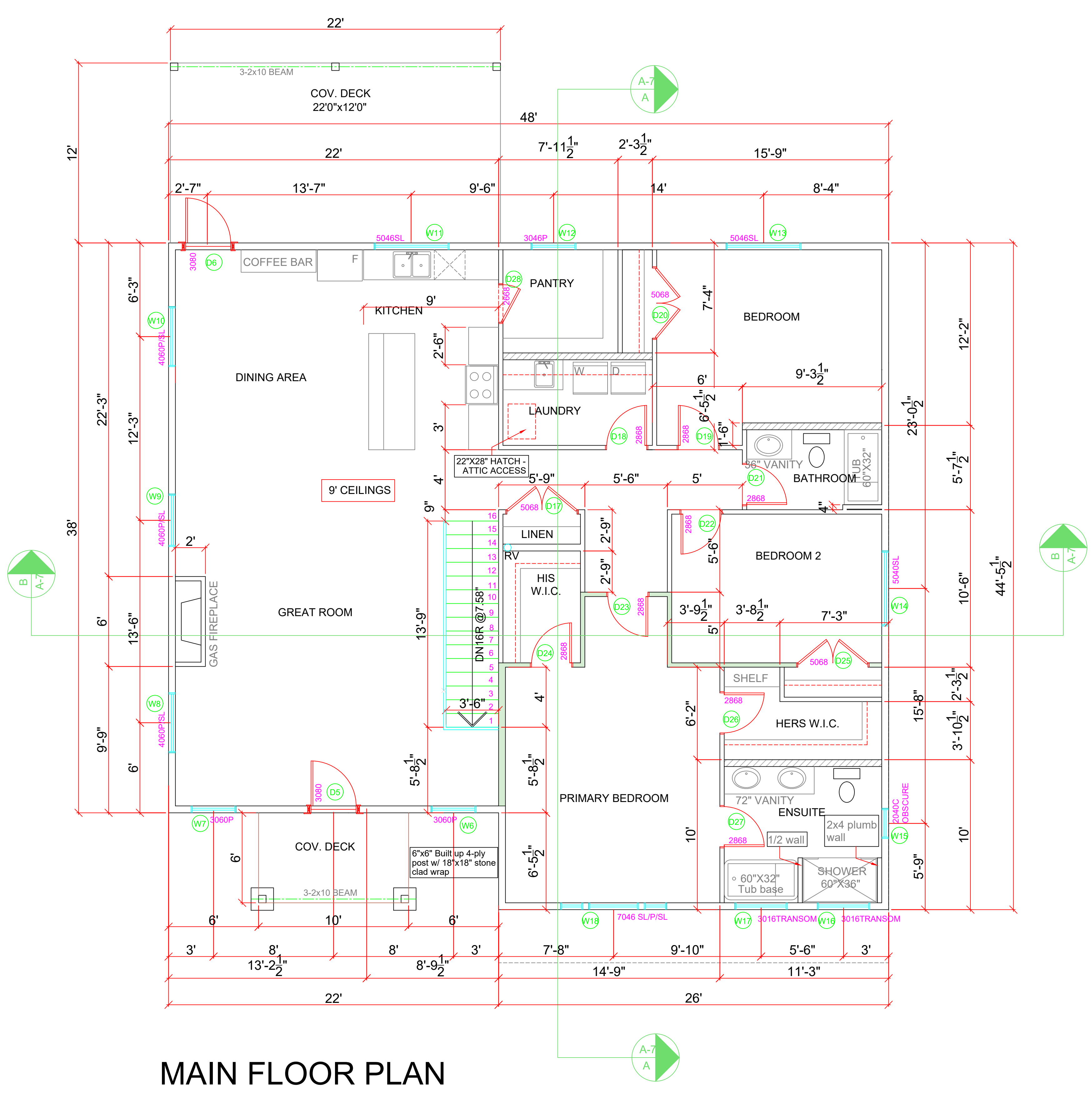
CIVIC ADDRESS
1550 - 2ND ST SE

PROJECT NO.
CUSTOMER
HOUSE 24

SHEET TITLE
ELEVATIONS

DATE
AUG 16/21
SCALE
3/16"=1'
DRAWN
PC
CHECKED
XX
SHEET NUMBER
A-2

WALL TYPES
BASEMENT WALL (TYP.)
8" OR 10" CONC WALL 1/2" AIR SPACE 2X6 FRAMED WALL R20 INSULATION 6 MIL POLY 1/2" TYPE X DRYWALL
FIRE SEPARATION WALL(SUITE) [W3c]
1/2" DRYWALL 2x6 FRAME WALL SAFE AND SOUND INSULATION 1/2" RESILIENT METAL CHANNEL (SOUND BAR) @16" O.C. 1/2" TYPE X DRYWALL (45 MINUTE FIRE RATING)
INTERIOR WALL (SOUND) [W3c]
1/2" DRYWALL 2x4 FRAME WALL SAFE AND SOUND INSULATION 1/2" RESILIENT METAL CHANNEL (SOUND BAR) @16" O.C. 1/2" TYPE X DRYWALL (45 MINUTE FIRE RATING)
INTERIOR WALL (TYP) [W1e]
1/2" DRYWALL 2x4 FRAME WALL (2x6 FRAME WALL FOR PLUMB OR LOAD BEARING) 1/2" TYPE X DRYWALL (30 MINUTE FIRE RATING)
EXTERIOR WALL (TYP.) [EW1b]
SIDING 3/8" OSB BUILDING PAPER 2x6 FRAME WALL R22 BATT INS. 6 MIL POLY 1/2" TYPE X DRYWALL (45 MINUTE FIRE RATING)
ALL WALLS FRAMED AT 16" O.C. UNLESS OTHERWISE NOTED



MAIN FLOOR PLAN

1801 SQ. FT.
9' Ceilings

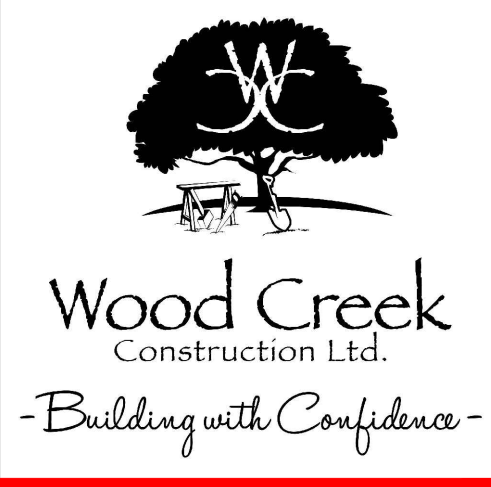
WINDOW/DOOR LEGEND
PICTURE - P AWNING - A HORIZONTAL SLIDER - SL SINGLE HUNG - SH
WALL LEGEND
SAFE & SOUND INSULATION
PLUMB WALL
LOAD BEARING WALL

- FLOOR NOTES**
1. FRAMED EXTERIOR WALLS INCLUDE EXTERIOR SHEATHING.
 2. ALL DIMENSIONS SHOWN ARE TO FRAMING AND DO NOT INCLUDE DRYWALL OR OTHER FINISHES
 3. ALL HEADERS TO BE 3-2X10 IN 2X6 WALLS AND 2-2X10 IN 2X4 WALLS UNLESS NOTED OTHERWISE
 4. ALL DOORS AND WINDOWS FRAMED 4-1/2" FROM ADJACENT WALLS UNLESS NOTED OTHERWISE
 5. ALL DOOR SLABS TRO MEASURE 80" IN HEIGHT UNLESS OTHERWISE NOTED
 6. INDIVIDUAL ROOM AREAS ARE CALCULATED FROM INSIDE OF FRAMING WHEREAS THE OVERALL FLOOR AREA IS CALCULATED TO OUTSIDE EXTERIOR WALLS

NOTE: ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL CODES AND BYLAWS. DESIGN OF FOUNDATION AND FOOTINGS TO BE MODIFIED TO SUIT LOCAL SOIL CONDITIONS AS REQUIRED
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A5	JULY 2021	GARAGE FOUNDATION JOG FIXED
A3	AUG 2021	OPEN TO BELOW REMOVED
A4	AUG 1621	WINDOWS

REVISIONS



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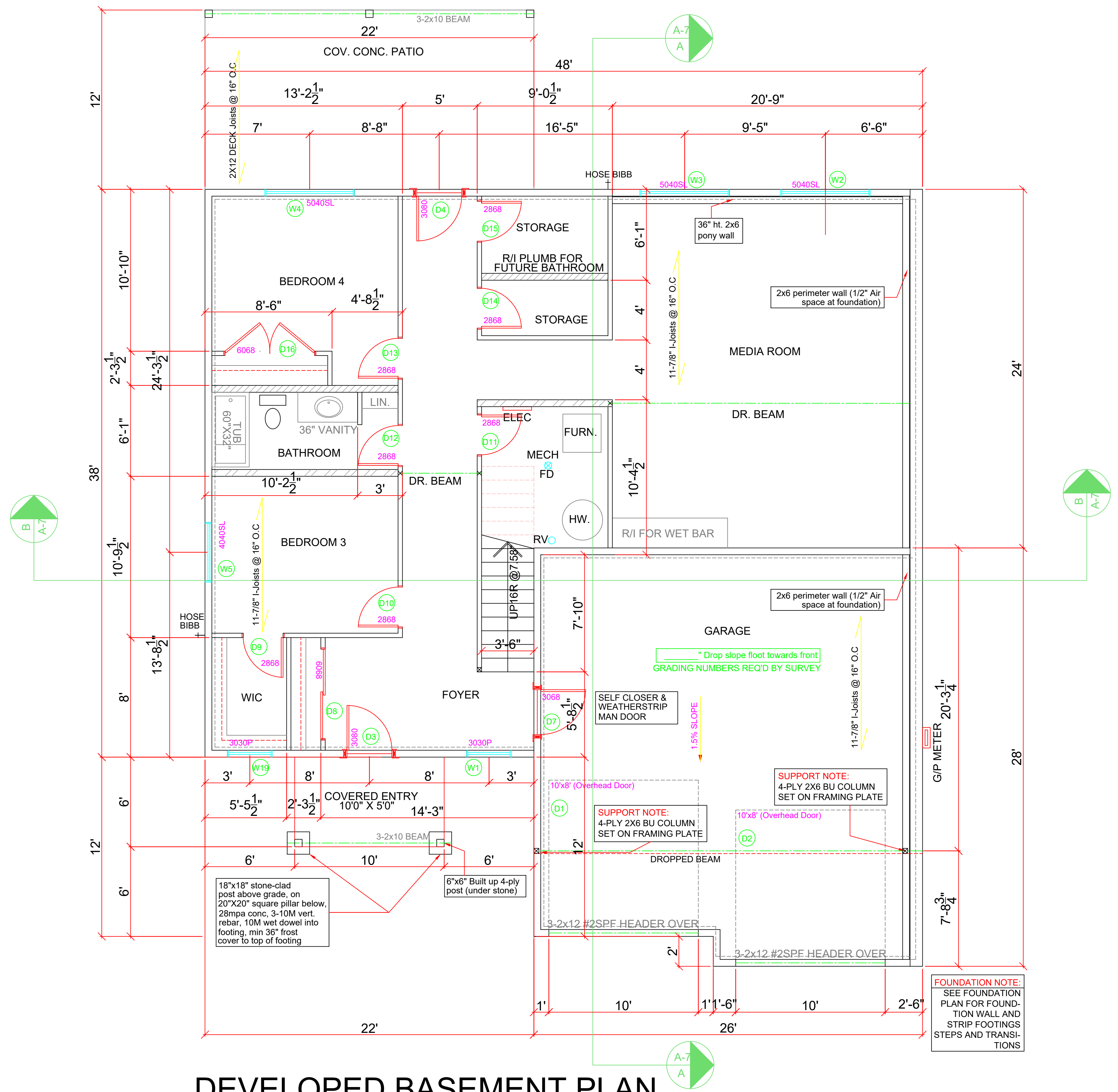
PROJECT NO.

CUSTOMER
HOUSE 24

SHEET TITLE
MAIN FLOOR LAYOUT

DATE AUG 16/21	SHEET NUMBER A-3
SCALE 1/4"=1'	
DRAWN PC	
CHECKED XX	

CEILING TYPES	SUITE CEILING [F8c] 3/4" PLYWOOD SUBFLOOR ENG JOISTS 1/2" RESILIENT METAL CHANNEL (SOUND BAR) @16" O.C. 3.5" MIN. ABSORBATIVE MATERIAL (ROXUL) 1/2" TYPE X DRYWALL (45 MINUTE FIRE RATING)		STC 48
	STANDARD CEILING [F3a] 3/4" PLYWOOD SUBFLOOR ENG JOISTS 1/2" DRYWALL (30 MINUTE FIRE RATING)		
	STANDARD CEILING [F3b] 3/4" PLYWOOD SUBFLOOR ENG JOISTS 2" SPRAY FOAM R28 BATT 1/2" DRYWALL (30 MINUTE FIRE RATING)		STC 31



WINDOW/DOOR LEGEND

PICTURE - P
 AWNING - A
 HORIZONTAL SLIDER - SL
 SINGLE HUNG - SH

WALL LEGEND

[Green Box] SAFE & SOUND INSULATION
 [Hatched Box] PLUMB WALL
 [Red Hatched Box] LOAD BEARING WALL

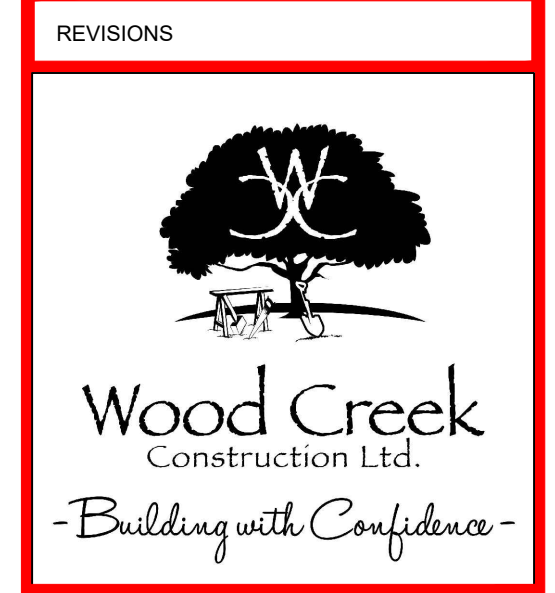
- FLOOR NOTES**
1. FRAMED EXTERIOR WALLS INCLUDE EXTERIOR SHEATHING.
 2. ALL DIMENSIONS SHOWN ARE TO FRAMING AND DO NOT INCLUDE DRYWALL OR OTHER FINISHES
 3. ALL HEADERS TO BE 3-2X10 IN 2X6 WALLS AND 2-2X10 IN 2X4 WALLS UNLESS NOTED OTHERWISE
 4. ALL DOORS AND WINDOWS FRAMED 4-1/2" FROM ADJACENT WALLS UNLESS NOTED OTHERWISE
 5. ALL DOOR SLABS TO MEASURE 80" IN HEIGHT UNLESS OTHERWISE NOTED
 6. INDIVIDUAL ROOM AREAS ARE CALCULATED FROM INSIDE OF FRAMING FLOOR AREA IS CALCULATED TO OUTSIDE EXTERIOR WALLS

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A4	AUG 16/21	WINDOWS



CIVIC ADDRESS
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MAIN VENTILATION NOTE
 PROVIDE EXHAUST FAN (CONTINUOUS FAN), AND FURNACE FAN TO PROVIDE CONTINUOUS VENTILATION FOR MAIN DWELLING

SUITE VENTILATION NOTE
 PROVIDE EXHAUST FAN (CONTINUOUS FAN), AND CRV FOR SUITE

DEVELOPED BASEMENT PLAN

1379 SQ. FT.
 9' Ceilings

PROJECT NO.	
CUSTOMER	HOUSE 24
SHEET TITLE	BASEMENT LAYOUT
DATE	AUG 16/21
SCALE	1/4"=1'
DRAWN	PC
CHECKED	XX
SHEET NUMBER	A-4

SLAB NOTE:
4" conc slab, min 32MPA conc, 6 mil poly vapour barrier sealed to walls, 4" drain rock or other clean material suitable for the movement of radon gas in mech room only

BACKFILL NOTE:
BACKFILL HEIGHT CANNOT EXCEED REQUIREMENTS AS PER SUBSECTION 9.15.4 OF BC BLDG CODE

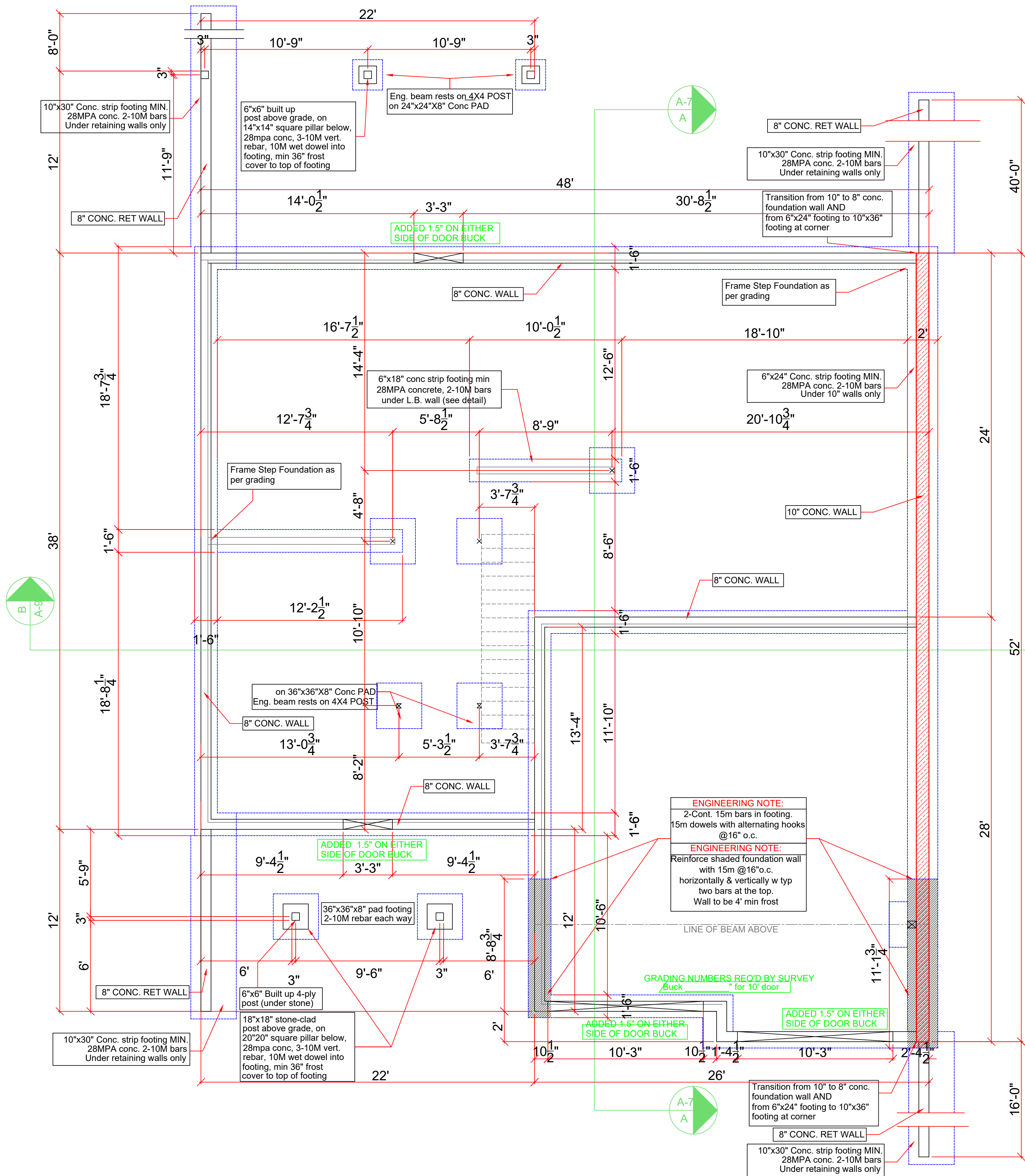
FINAL GRADE NOTE:
final grades and stepped foundation to be determined by Wood Creek

FOOTING NOTE #1
6"x24" conc strip footing min 28MPA concrete, 2-10M bars around 10" foundation wall

FOOTING NOTE #2
6"x18" conc strip footing min 28MPA concrete, 2-10M bars around 8" foundation wall

VENTILATION NOTE
PROVIDE EXHAUST FAN AND FURNACE FAN TO FOR CONTINUOUS VENTILATION

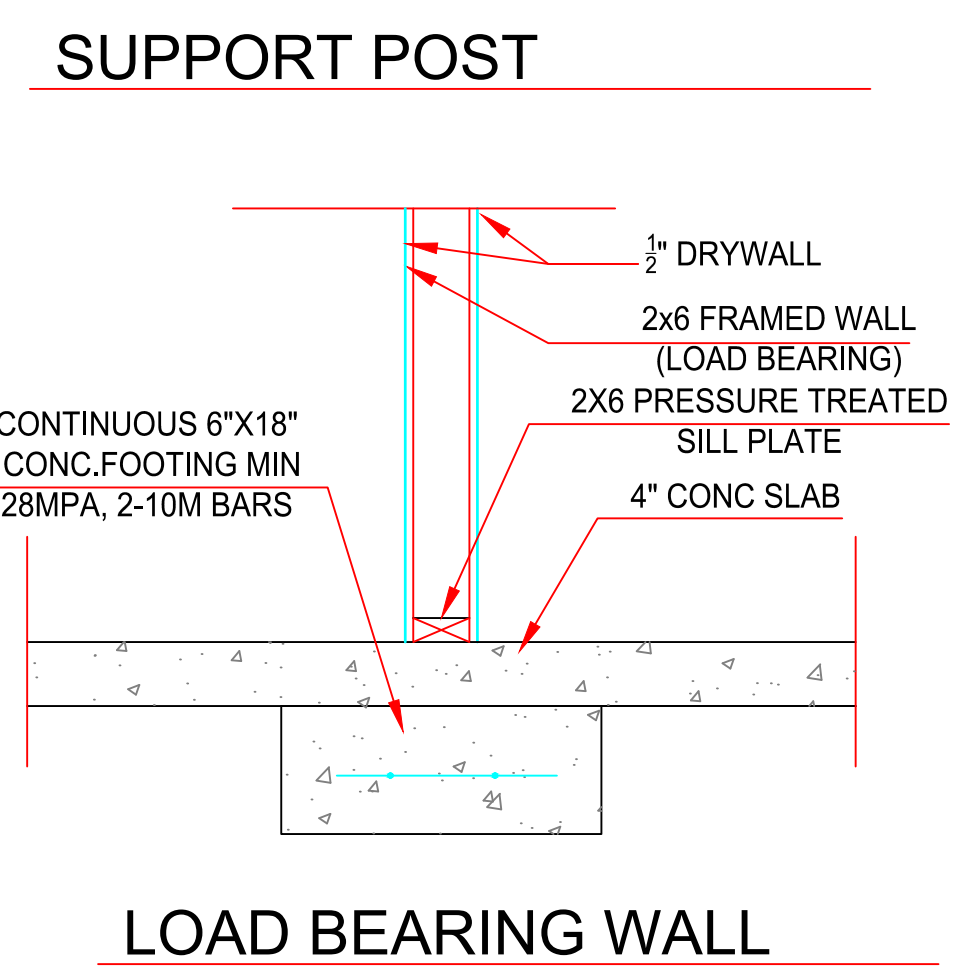
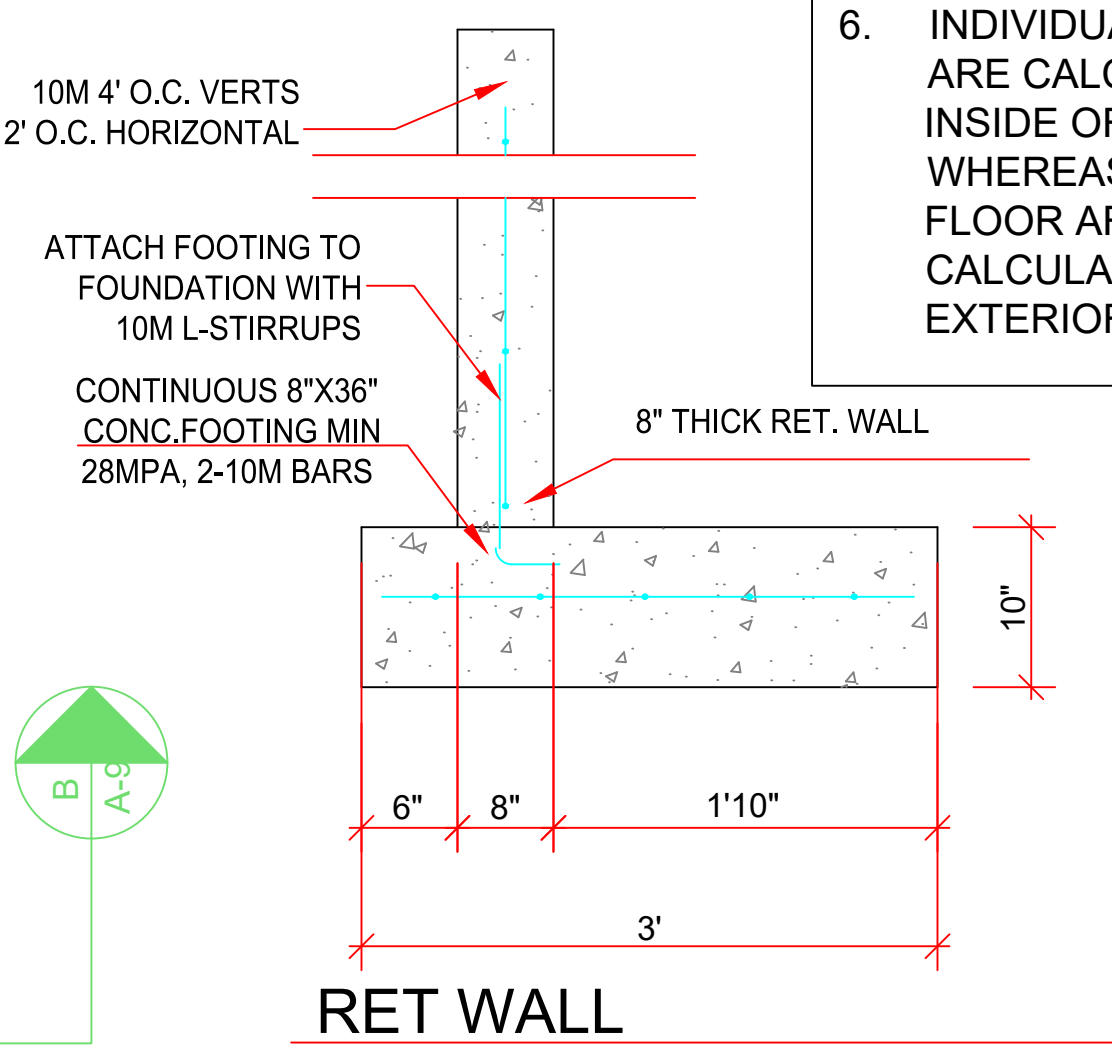
ENGINEERING NOTE
TAKE PHOTOS AND SEND TO ENGINEER BEFORE POURING GARAGE CONC/FOOTING



WINDOW/DOOR LEGEND
PICTURE - P
AWNING - A
HORIZONTAL SLIDER - SL
SINGLE HUNG - SH

WALL LEGEND
SAFE & SOUND INSULATION
PLUMB WALL
LOAD BEARING WALL
1' HIGHER FOUNDATION

- FLOOR NOTES**
1. FRAMED EXTERIOR WALLS INCLUDE EXTERIOR SHEATHING.
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REVISIONS

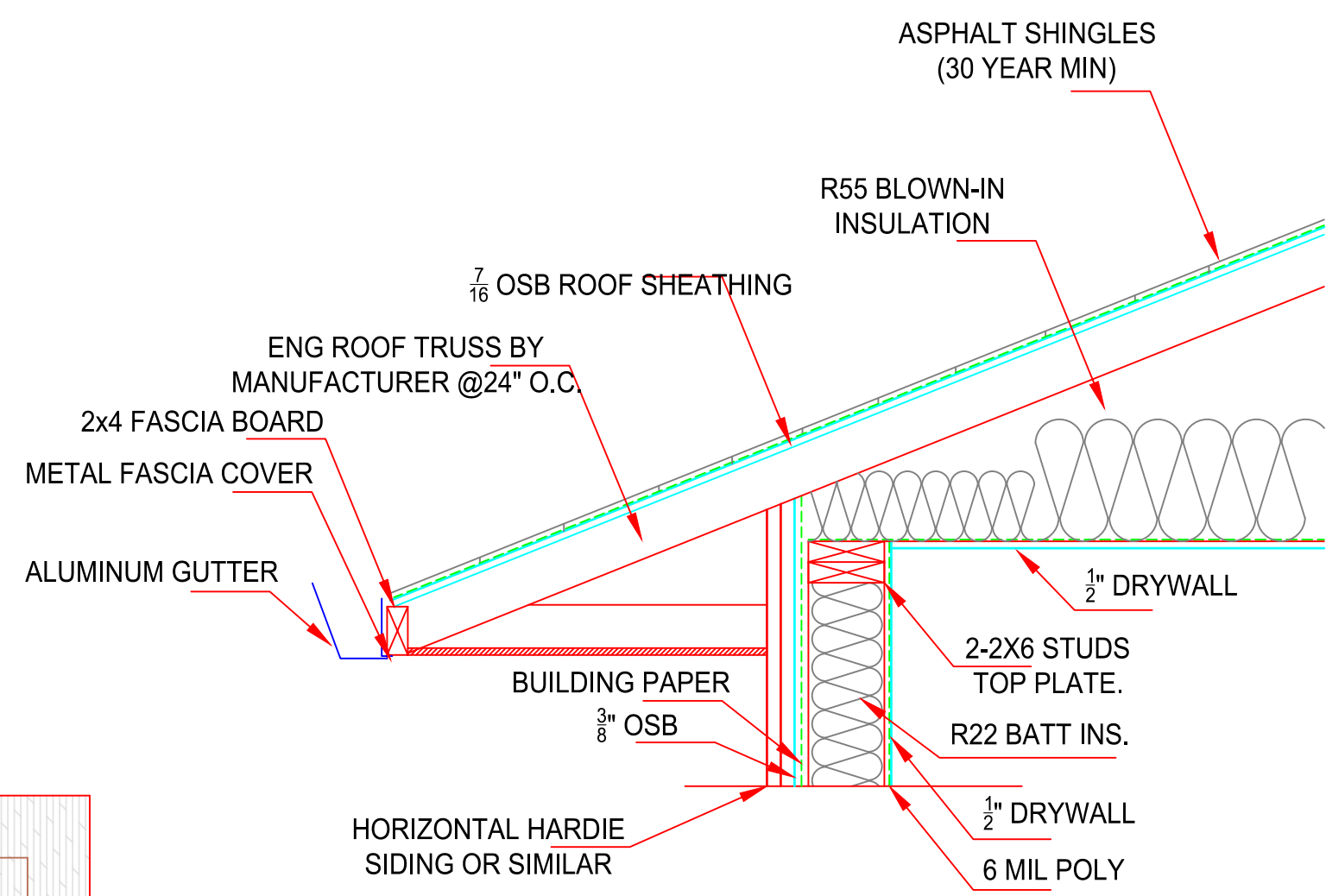
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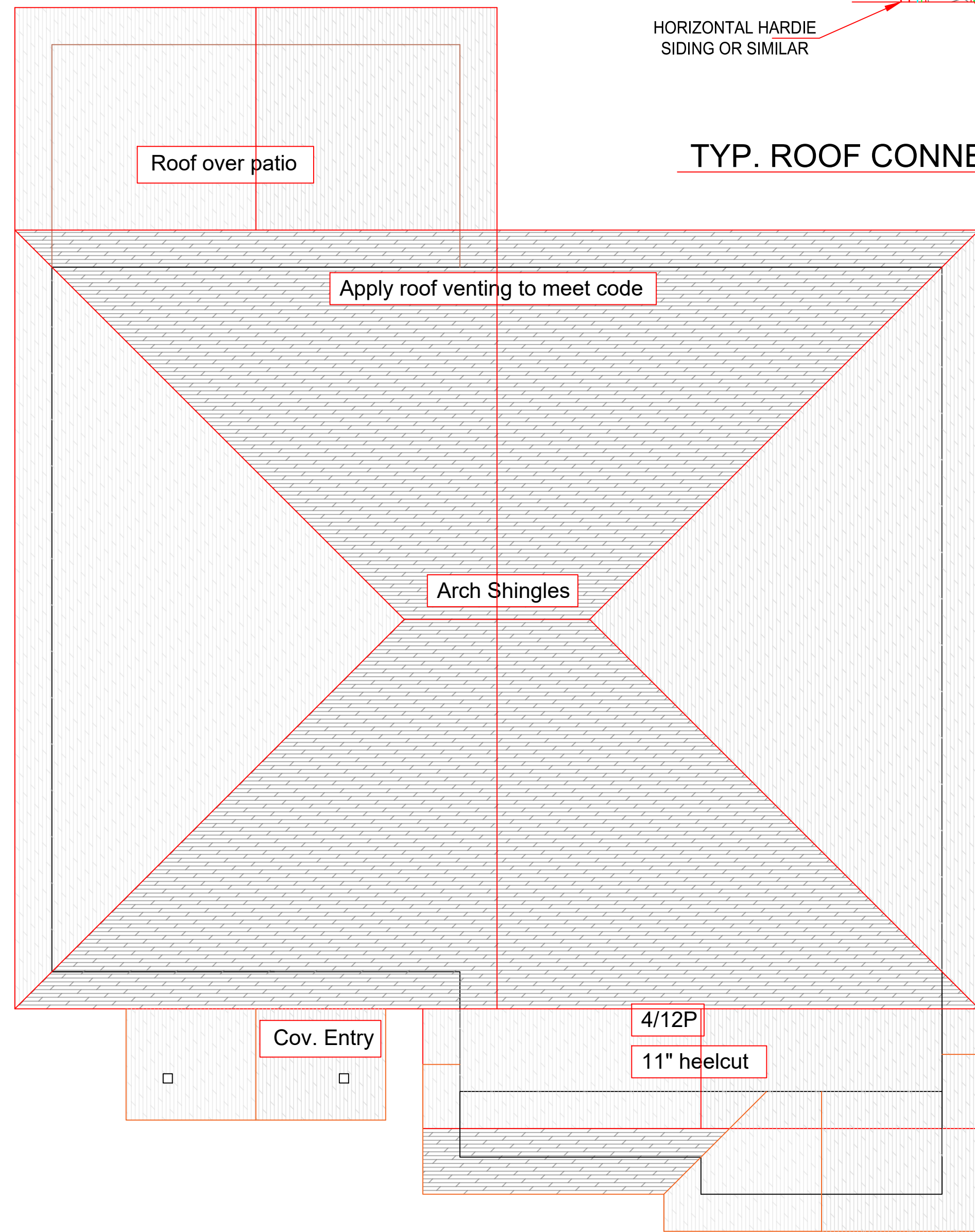
PROJECT NO.
CUSTOMER
HOUSE 24

SHEET TITLE
FOUNDATION PLAN

DATE: AUG 16/21
SCALE: 3/16"=1'
DRAWN: PC
CHECKED: XX
SHEET NUMBER
A-5



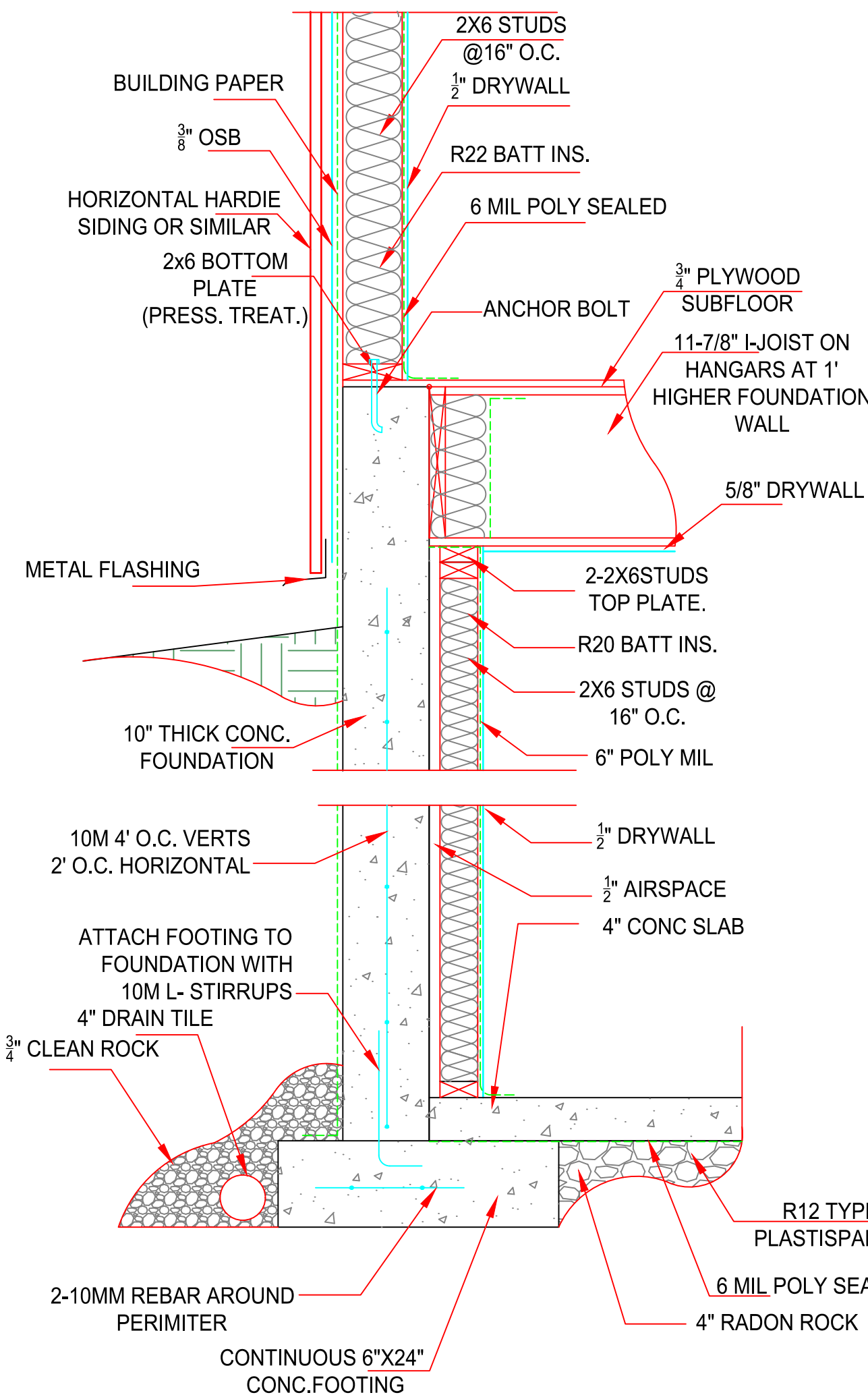
TYP. ROOF CONNECTION 1"=1'0"



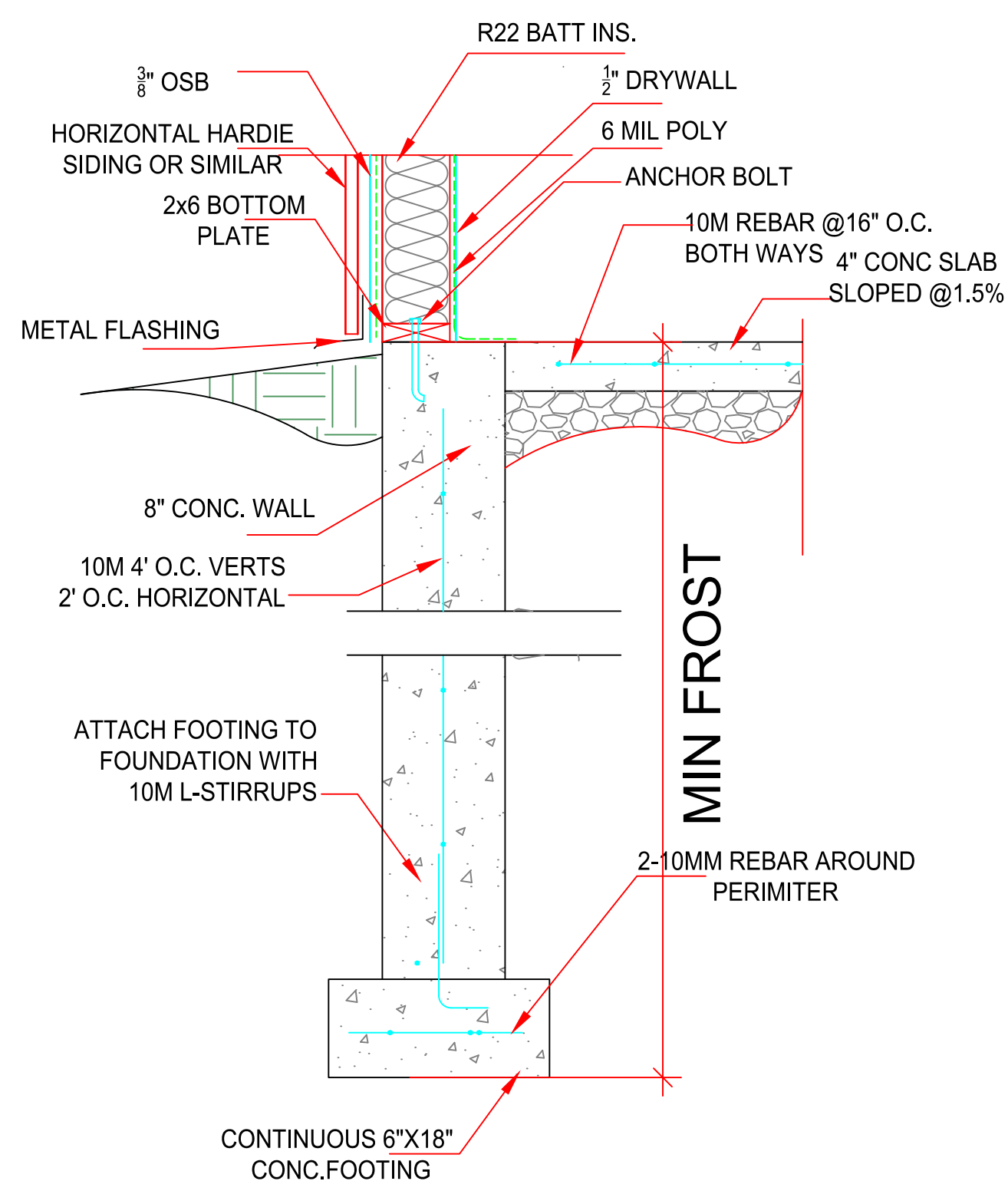
- 24" O/H Except where noted
- Rafter system to be engineered
- 1x6 T&G pine board soffits in deck roof areas
- Balance of house c/w vented aluminum soffit

Roof Plan

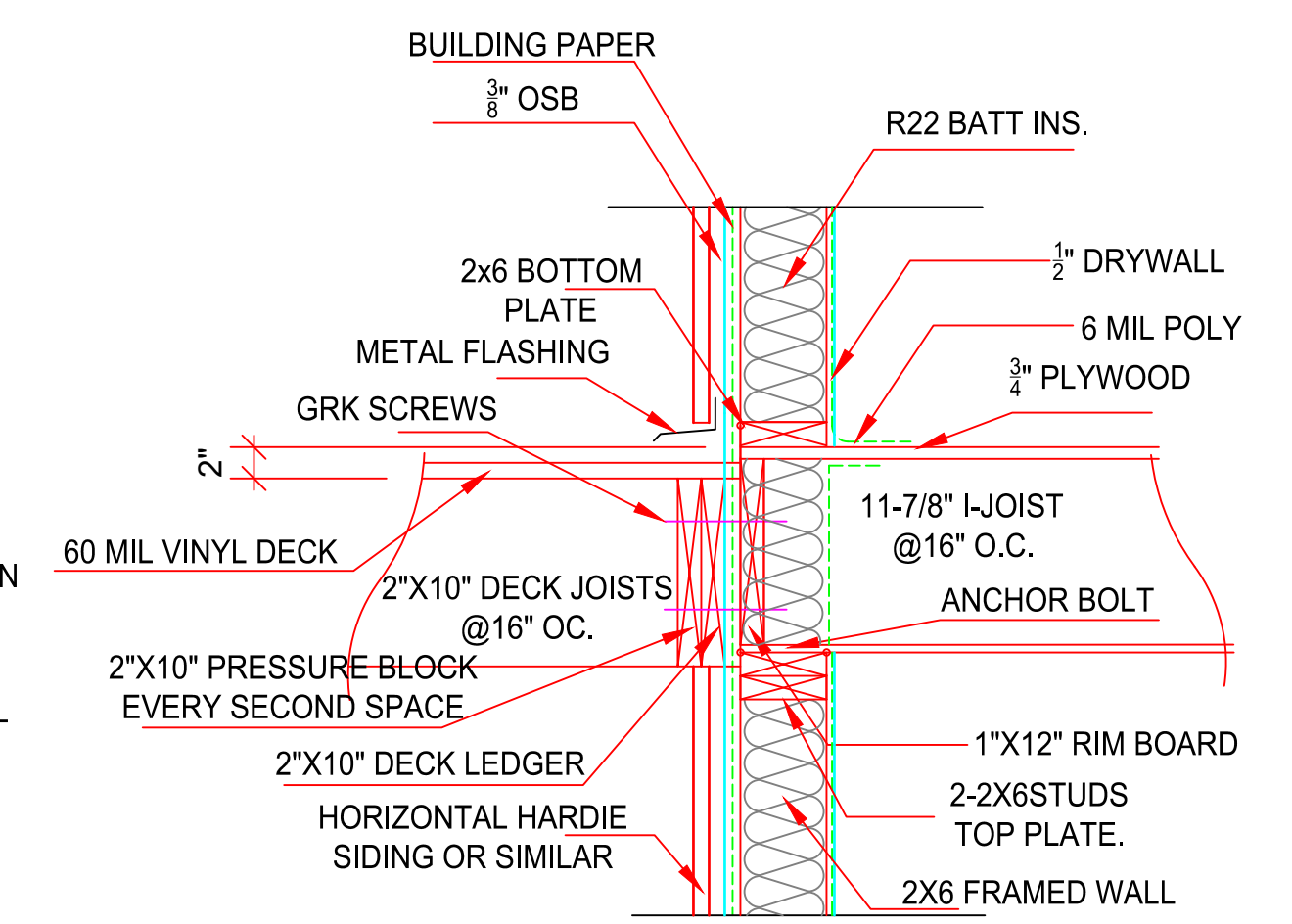
SCALE: 3/16" = 1'0"



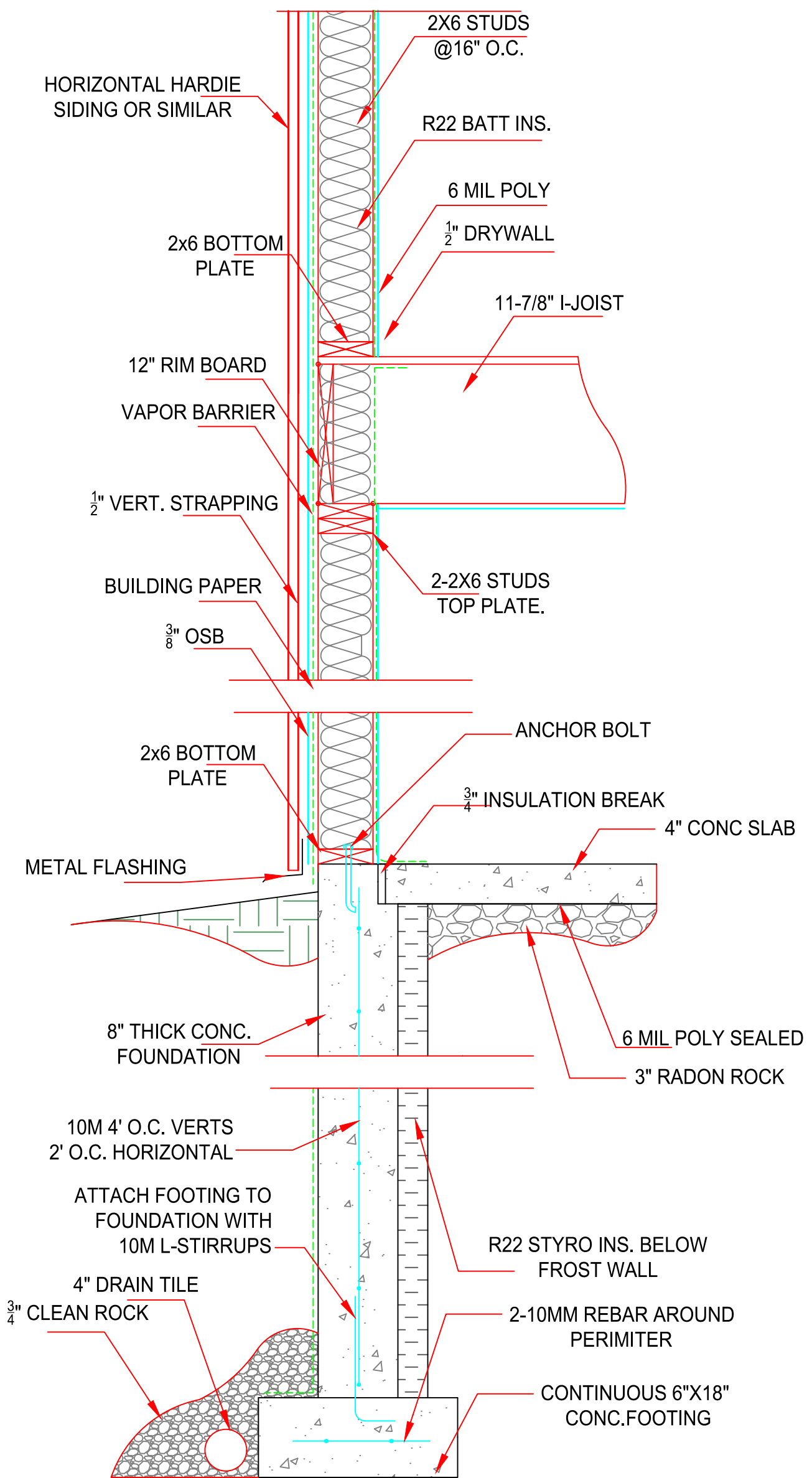
10" FOUNDATION CONSTRUCTION 1"=1'0"



TYP. GARAGE SLAB 1"=1'0"



TYP. DECK CONSTRUCTION 1"=1'0"



TYP. WALKOUT FOUNDATION CONSTRUCTION 1"=1'0"

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A3	AUG 2021	OPEN TO BELOW REMOVED
A4	AUG 1921	WINDOWS

REVISIONS



CIVIC ADDRESS

1550 - 2ND ST SE

PROJECT NO.

CUSTOMER
HOUSE 24

SHEET TITLE
MAIN FLOOR LAYOUT

DATE
AUG 16/21

SCALE
1"=1'0"

DRAWN
PC

CHECKED
XX

SHEET NUMBER

A-6

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A3	AUG 3/21	OPEN TO BELOW REMOVED
A4	AUG 16/21	WINDOWS

REVISIONS

Wood Creek Construction Ltd.
- Building with Confidence -

CIVIC ADDRESS
1550 - 2ND ST SE

PROJECT NO.
CUSTOMER
HOUSE 24

SHEET TITLE
SECTIONS & SCHEDULES

DATE: AUG 16/21
SCALE: 1/4"=1'
DRAWN: PC
CHECKED: XX

SHEET NUMBER
A-7

WINDOW SCHEDULE

MARK		SASH OPERATION	RO WIDTH	RO HEIGHT	COMMENTS
W 1	3030	PICTURE	30"	30"	
W 2	5040	SLIDER	50"	50"	
W 3	5040	SLIDER	50"	50"	
W 4	5040	SLIDER	50"	50"	
W 5	4040	SLIDER	40"	40"	
W 6	3060	PICTURE	30"	60"	
W 7	3060	PICTURE	30"	60"	
W 8	4060	PICTURE/SLIDER	40"	60"	
W 9	4060	PICTURE/SLIDER	40"	60"	
W 10	4060	PICTURE/SLIDER	40"	60"	
W 11	5046	SLIDER	50"	46"	
W 12	3046	PICTURE	30"	46"	
W 13	5046	SLIDER	50"	46"	
W 14	5040	SLIDER	50"	40"	
W 15	2040	CASEMENT	20"	40"	OBSCURE
W 16	3016	TRANSOM	30"	16"	
W 17	3016	TRANSOM	30"	16"	
W 18	7046	SLIDER/PICTURE/SLIDER	70"	46"	
W 19	3030	PICTURE	30"	30"	

DOOR SCHEDULE

MARK		DOOR OPERATION	RO WIDTH	RO HEIGHT	SIDE LITES	LOCATION
D 1	10080	OVERHEAD DOOR	10'0"	8'0"		GARAGE DOOR
D 2	10080	OVERHEAD DOOR	10'0"	8'0"		GARAGE DOOR
D 3	3080	SWING SIMPLE	3'-3/8"	8'0"		ENTRY DOOR
D 4	3080	SWING SIMPLE	3'-3/8"	8'0"		BASEMENT ENTRY
D 5	3080	SWING SIMPLE	3'-3/8"	8'0"		COVERED DECK
D 6	3080	SWING SIMPLE	3'-3/8"	8'0"		COVERED DECK
D 7	3068	SWING SIMPLE	3'-3/8"	6'11"		GARAGE MAN DOOR
D 8	6068	SLIDE BI-PASS	6'	6'11"		ENTRY CLOSET
D 9	2868	SWING SIMPLE	2'8"	6'11"		WIC
D 10	2868	SWING SIMPLE	2'8"	6'11"		BEDROOM 3
D 11	2868	SWING SIMPLE	2'8"	6'11"		MECH
D 12	2868	SWING SIMPLE	2'8"	6'11"		BASEMENT BATH
D 13	2868	SWING SIMPLE	2'8"	6'11"		BEDROOM 4
D 14	2868	SWING SIMPLE	2'8"	6'11"		STORAGE
D 15	2868	SWING SIMPLE	2'8"	6'11"		STORAGE/FUT. BATH
D 16	6068	SWING BI-PART	6'	6'11"		BEDROOM 4 CLOSET
D 17	5068	SWING BI-PART	5'0"	6'11"		LINEN
D 18	2868	SWING SIMPLE	2'8"	6'11"		LAUNDRY
D 19	2868	SWING SIMPLE	2'8"	6'11"		BEDROOM 1
D 20	5068	SWING BI-PART	5'0"	6'11"		BEDROOM 1 CLOSET
D 21	2868	SWING SIMPLE	2'8"	6'11"		BATHROOM
D 22	2868	SWING SIMPLE	2'8"	6'11"		BEDROOM 2
D 23	2868	SWING SIMPLE	2'8"	6'11"		MASTER BED
D 24	2868	SWING SIMPLE	2'8"	6'11"		W.I.C.
D 25	5068	SWING BI-PART	5'0"	6'11"		BEDROOM 2 CLOSET
D 26	2868	SWING SIMPLE	2'8"	6'11"		W.I.C.
D 27	2868	SWING SIMPLE	2'8"	6'11"		ENSUITE
D 28	2868	SWING SIMPLE	2'8"	6'11"		PANTRY

WALL TYPES

BASEMENT WALL (TYP.)

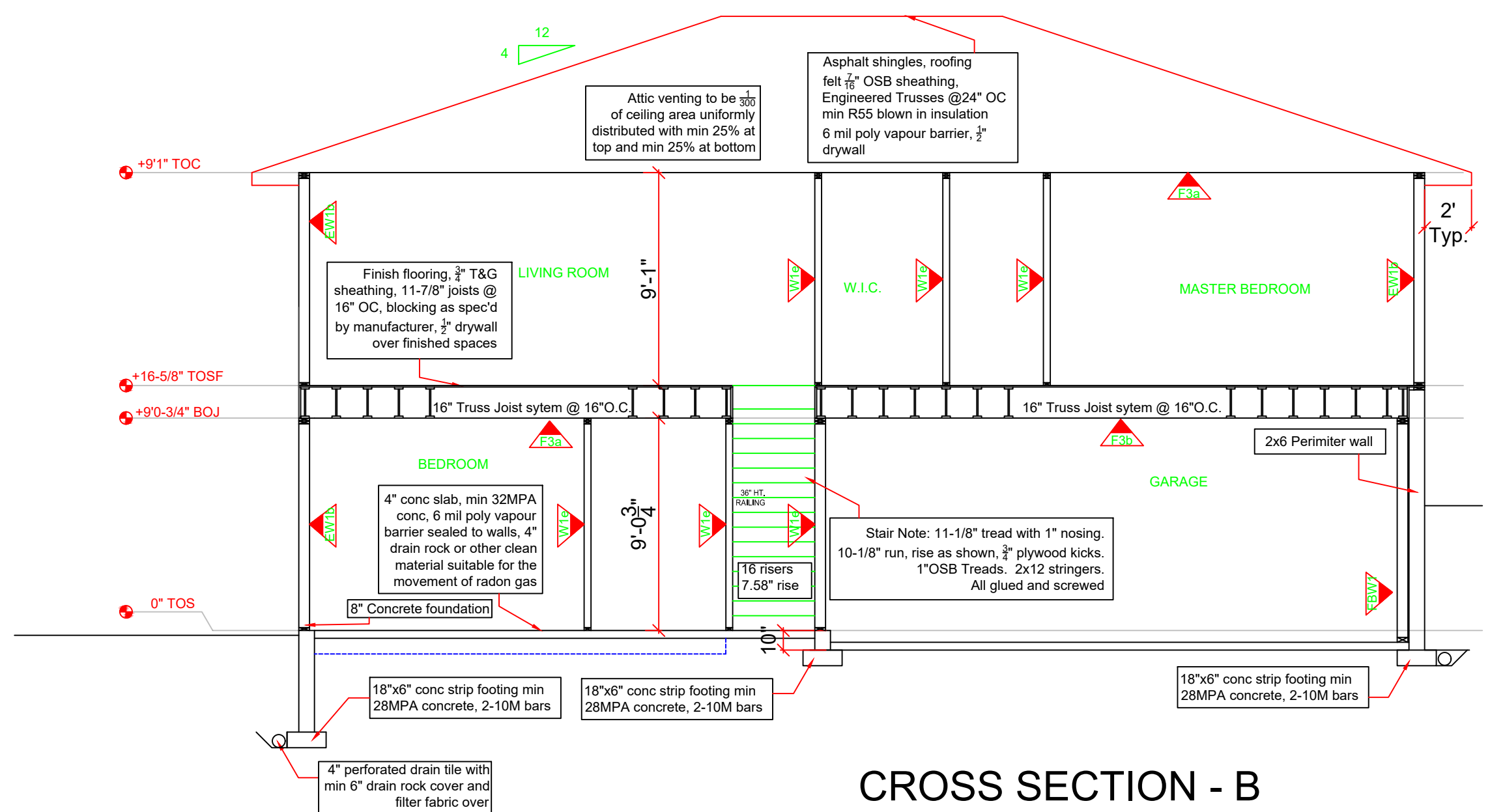
FIRE SEPARATION WALL(SUITE) [W3c]

INTERIOR WALL (SOUND) [W3c]

INTERIOR WALL (TYP) [W1e]

EXTERIOR WALL (TYP.) [EW1b]

ALL WALLS FRAMED AT 16" O.C. UNLESS OTHERWISE NOTED

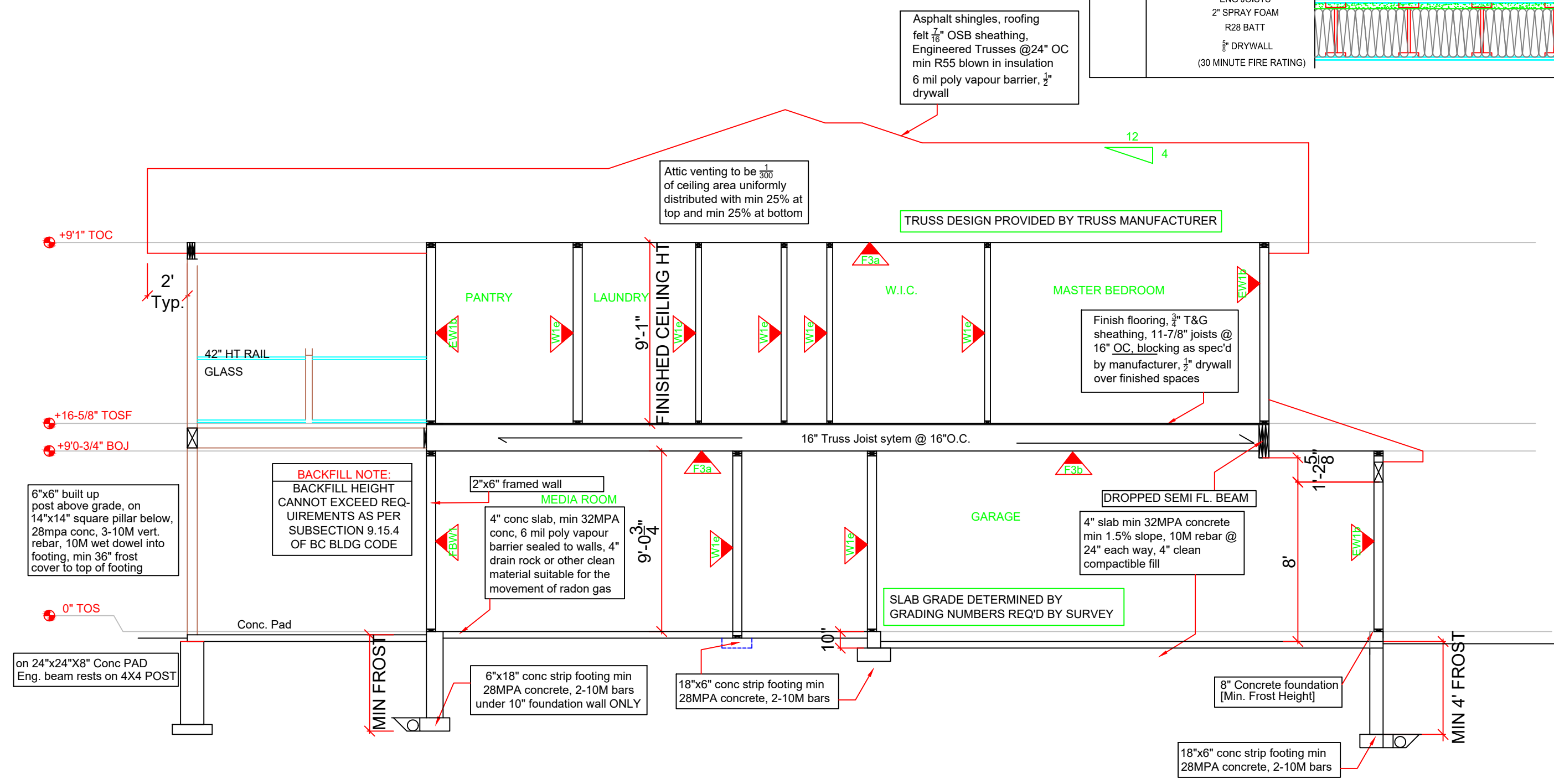


CEILING TYPES

SUITE CEILING [F8c] STC 48

STANDARD CEILING [F3a]

STANDARD CEILING [F3b] STC 31



CROSS SECTION - A