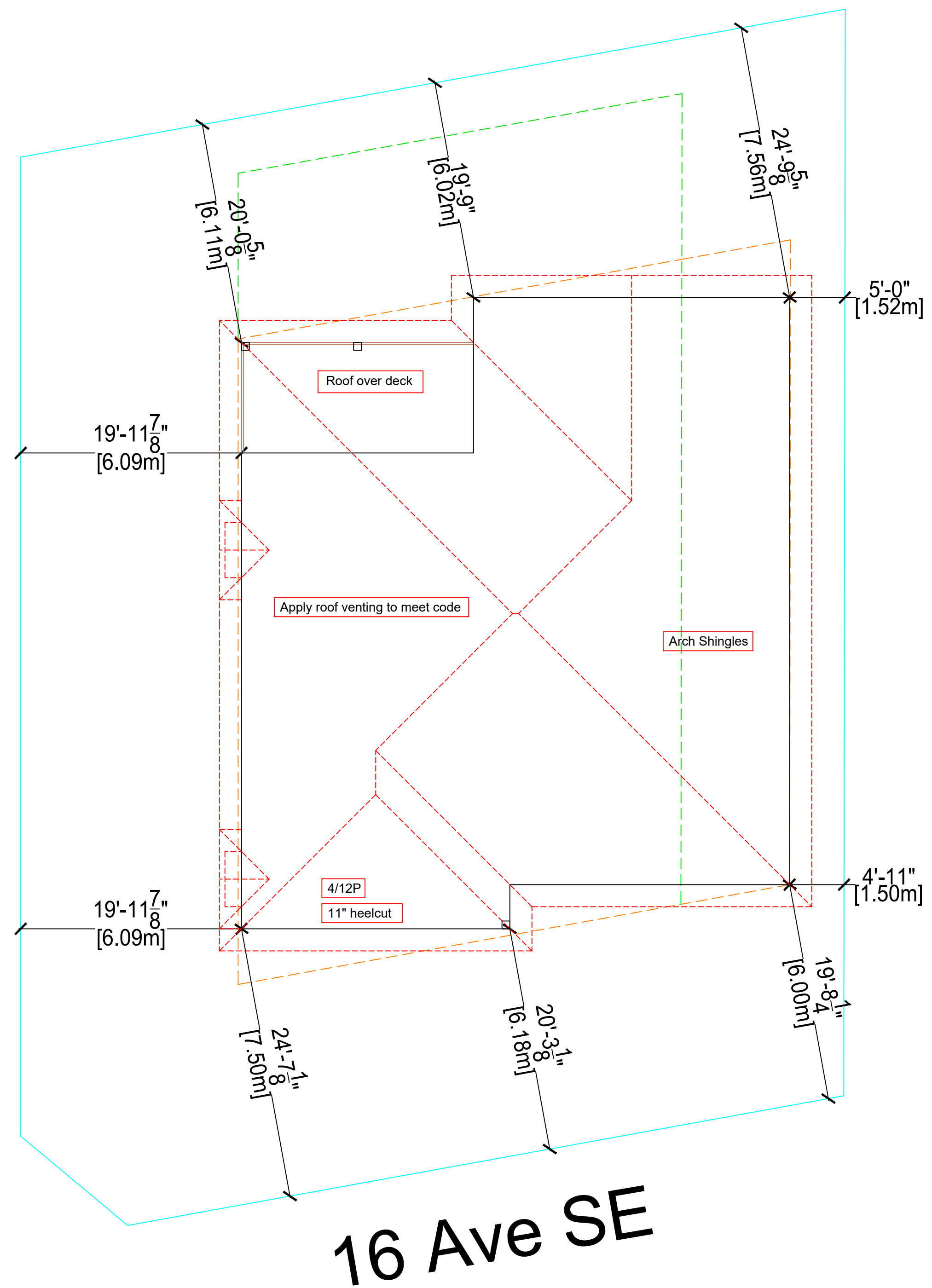


2nd ST. SE



16 Ave SE

SHEET LEGEND
 A1 - SITE PLAN & NOTES
 A2 - ELEVATIONS
 A3 - LOWER LEVEL PLAN
 A4 - UPPER LEVEL PLAN
 A5 - FOUNDATION PLAN
 A6 - ROOF & DETAILS
 A7 - SECTIONS & WINDOW/DOOR SCHEDULES

LOT SETBACKS

FRONT - 6M
 16M LIMIT. DIST. TO CENTER OF ROAD
 BACK - 6M
 6-7.5M LIMITING DISTANCE TO REAR P.L.
 LEFT SIDE 6M
 16M LIMIT. DIST. TO CENTER OF ROAD
 RIGHT SIDE 1.5M
 1.5 LIMIT. DIST. TO P.L.

LOT COVERAGE:

LOT AREA: 7292 SQ. FT.
 MAIN FLOOR AREA: 1672 SQ. FT.
 DEV. BASEMENT FLOOR: 2181 SQ. FT.
 (SUITE AREA - 724 SQ. FT.)
 TOTAL FOOTPRINT AREA: 2649 SQ. FT.
 RATIO: 36.3%
 ALLOWABLE: 45%

SITE PLAN

GENERAL NOTES

- ALL CONSTRUCTION MATERIALS & WORKMANSHIP TO BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE B.C. BUILDING CODE PLUMBING CODE, ELECTRICAL CODE, AND ALL OTHER CODES, ZONING, AND BYLAWS THAT MAY APPLY.
- THE CONTRACTOR AND ALL SUB-TRADES ARE RESPONSIBLE FOR THE REVIEW OF ALL DRAWINGS AND SITE CONDITIONS PRIOR TO COMMENCING WORK OR ORDERING ANY MATERIAL, AND SHALL REPORT AND DISCREPANCIES THAT AFFECT DESIGN TO WOOD CREEK IMMEDIATELY
- ALL FRAMING MATERIAL TO BE S.P.F. #2 OR BETTER WITH THE EXCEPTION OF WALL STUDS
- CONCRETE FOOTINGS AND WALLS TO BE A MINIMUM 28MPA @28 DAYS. FLOOR SLABS AND SIDEWALKS TO BE MINIMUM 32MPA @ 28 DAYS.
- ALL CONCRETE FOOTINGS TO BE PLACED ON ORIGINAL UNDISTURBED GROUND, FREE OF ALL ORGANIC, FROZEN OR FROSTY MATERIAL.
- DAMP PROOF FOUNDATION WALLS BELOW GRADE WITH 2 COATS OF BITUMINOUS MATERIAL.
- 6 MIL. ULTRAVIOLET RESISTANT POLY VAPOUR BARRIER ON A.) 4" OF GRANULAR COMPACTABLE FILL UNDER EXTERIOR OR GARAGE SLABS. OR B.) 4" OF 3/8" DRAIN ROCK OR OTHER MATERIAL SUITABLE FOR MOVEMENT OF RADON GAS UNDER INTERIOR SLABS.
- ALL FOUNDATION DRAINS TO BE 4" PERFORATED P.V.C. WITH FILTER CLOTH AND MINIMUM 6" DRAIN ROCK, DRAINED TO MUNICIPAL SERVICES ACCORDING TO LOCAL STANDARDS.
- GRADE TO BE SLOPED AWAY FROM BUILDING AT ALL LOCATIONS ADJACENT TO BUILDING.
- ALL TRUSSES I-JOISTS, BEAMS OR OTHER STRUCTURAL MEMBERS NOT COVERED IN B.C. BUILDING CODE TO BE DESIGNED AND ENGINEERED BY TRUSS MANUFACTURER OR STRUCTURAL ENGINEER PRIOR TO ANY FABRICATION.
- CONTRACTOR TO VERIFY ALL PROPERTY AND FOUNDATION LINES WITH A LEGAL LAND SURVEYOR PRIOR TO PLACING FOOTINGS OR RUNNING SERVICES WITHIN BUILDING ENVELOPE.
- ALL ROOF SPACES TO BE VENTILATED WITH SOFFIT AND ROOF VENTS WITH A MINIMUM DISTRIBUTION AREA OF 1/300. A MINIMUM OF 25% OF VENTS TO BE LOCATED AT ROOF. MINIMUM 25% TO BE LOCATED AT SOFFIT.
- DOOR FRAMES AT ENTRANCES AND EXTERIOR SPACES TO DWELLING UNITS SHALL BE SOLIDLY BLOCKED BETWEEN DOOR FRAME AND STUDS AT THE HEIGHT OF THE DEADBOLT TO RESIST SPREADING.
- ALL GLASS IN DOORS, SIDELITES OR WINDOWS WITHIN 12" OF FINISHED FLOOR TO BE CONSTRUCTED OF SAFETY GLASS.
- RAIN WATER LEADERS NOT SHOWN ON PLAN. CONTRACTOR TO DETERMINE EXACT LOCATION SUITABLE TO SITE AND MUNICIPAL DRAINAGE.
- ELECTRICAL LOCATIONS TO BE DETERMINED BY ELECTRICAL CONTRACTOR WITH THE APPROVAL OF THE HOME OWNER OR GENERAL CONTRACTOR AND IN ACCORDANCE WITH CURRENT ELECTRICAL CODE.
- APPROVED SMOKE ALARMS TO BE INSTALLED WITH LOCATION APPROVED BY APPROPRIATE LOCAL MUNICIPALITY.
- REFER TO LAOUTS AND SPECIFICATIONS FROM STRUCTURAL ENGINEER, FLOOR JOIST SUPPLIER, AND ROOF TRUSS MANUFACTURER FOR BEAM, POST, FOOTING LOCATIONS AND SIZES. ENSURE PROPER BEARING IS PROVIDED FOR ALL POINT LOADS. ANY STRUCTURAL SPECIFICATIONS SHOWN ON WOOD CREEK PLANS ARE ESTIMATES ONLY AND MAY NOT ACCURATELY REPRESENT LOADING AND SIZING, OR MAY NOT INCLUDE POINT LOADS OR STRUCTURAL MEMBERS DESIGNED BY OTHERS.

NOTE: ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL CODES AND BYLAWS. DESIGN OF FOUNDATION AND FOOTINGS TO BE MODIFIED TO SUIT LOCAL SOIL CONDITIONS AS REQUIRED
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REV. #	DATE	REVISION
1	APR 2021	LAUNDRY/POWDER ROOM
2	APR 2021	STAIRS, RET WALL, WINDOWS
3	MAY 1021	PATIO DOOR, WINDOWS
4	MAY 2721	DRIP GARAGE, OH DOORS
5	JUNE 3021	PAD SIZE CHANGE BELOW DECK PILLARS
6	JUNE 721	WINDOW/DOOR SCHED. DOOR BUCKETS IN FOUNDATION WIDENED BY 2"
7	SEPT 021	SUITE WALL - LOAD BEARING
8	SEPT 2021	SUSPENDED SLAB/BONUS ROOM
9	OCT 721	PAD REMOVED [FOUNDATION]
10	OCT2021	FOUNDATIONS AND STRIP FOOTINGS AS PER ENG.
11	NOV 2221	MINI 8 BASEMENT FLOOR REVISED DOORS 22 & 4 REMOVED
12	NOV 2521	TUB ORIENTATION
13	DEC 021	BEAM POCKET NOTE
14	DEC 1021	MINOR KITCHEN CHANGES
15	JAN 1022	ROOF PLAN UPDATED
16	JAN 1222	W.7-10 CHANGED TO 6' HIGH
17	JAN 1422	ENSUITE LAYOUT REVISED
18	MAR 1722	DOOR HEIGHTS CHANGED TO 6'8"

NO.	DATE	DESCRIPTION
REVISIONS		



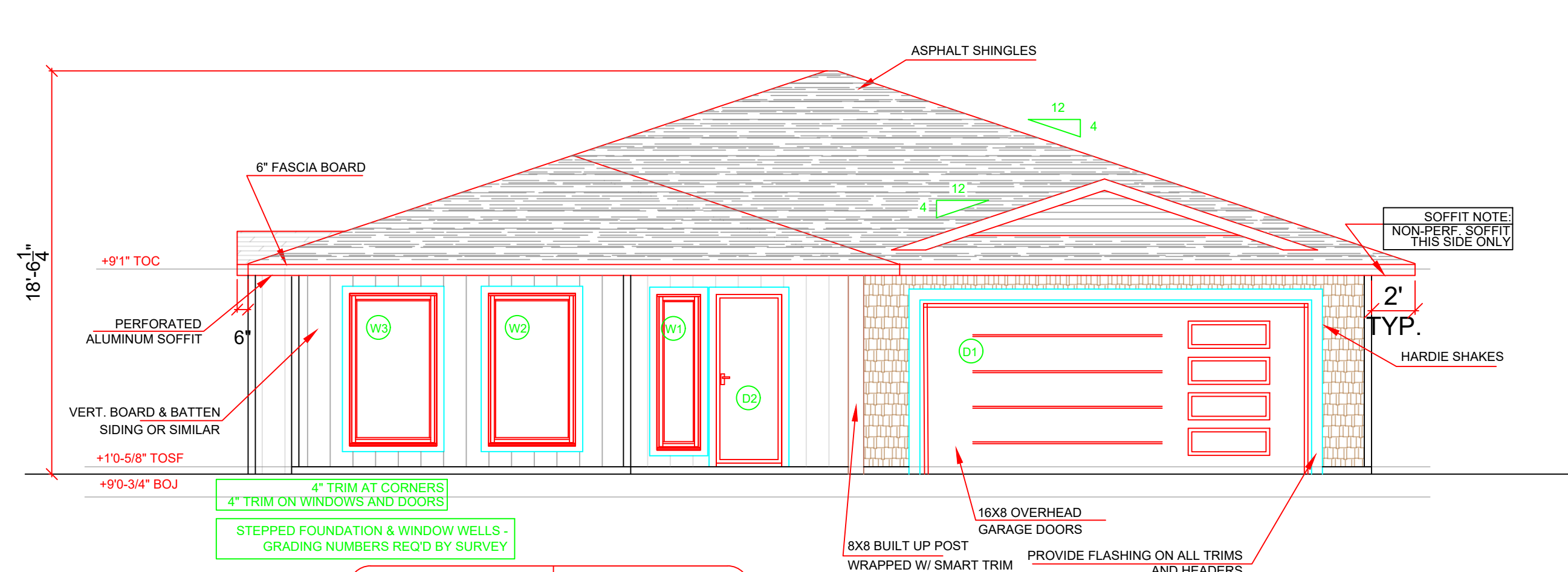
LEGAL DESCRIPTION
 210 - 16 Ave SE

PROJECT NO.
 CUSTOMER
 HOUSE 23

SHEET TITLE
 SITE PLAN & GENERAL NOTES

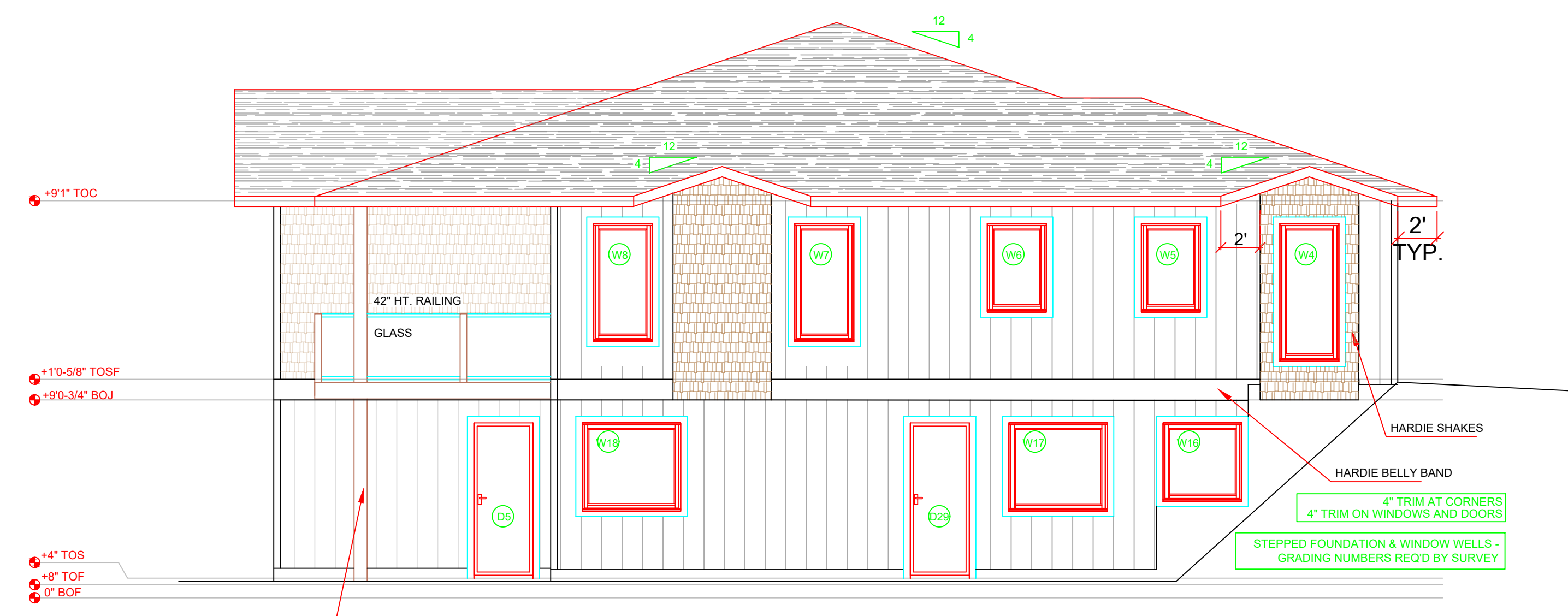
DATE
 MAR 17/22
 SCALE
 3/32"=1"
 DRAWN
 PC
 CHECKED
 XX
 SHEET NUMBER
 A-1

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GLAZING CALCULATIONS	
WALL AREA (E.B.F.)	
WINDOW AREA	
RATIO	
ALLOWABLE	100%
LIMITING DISTANCE	21m [to prop line]

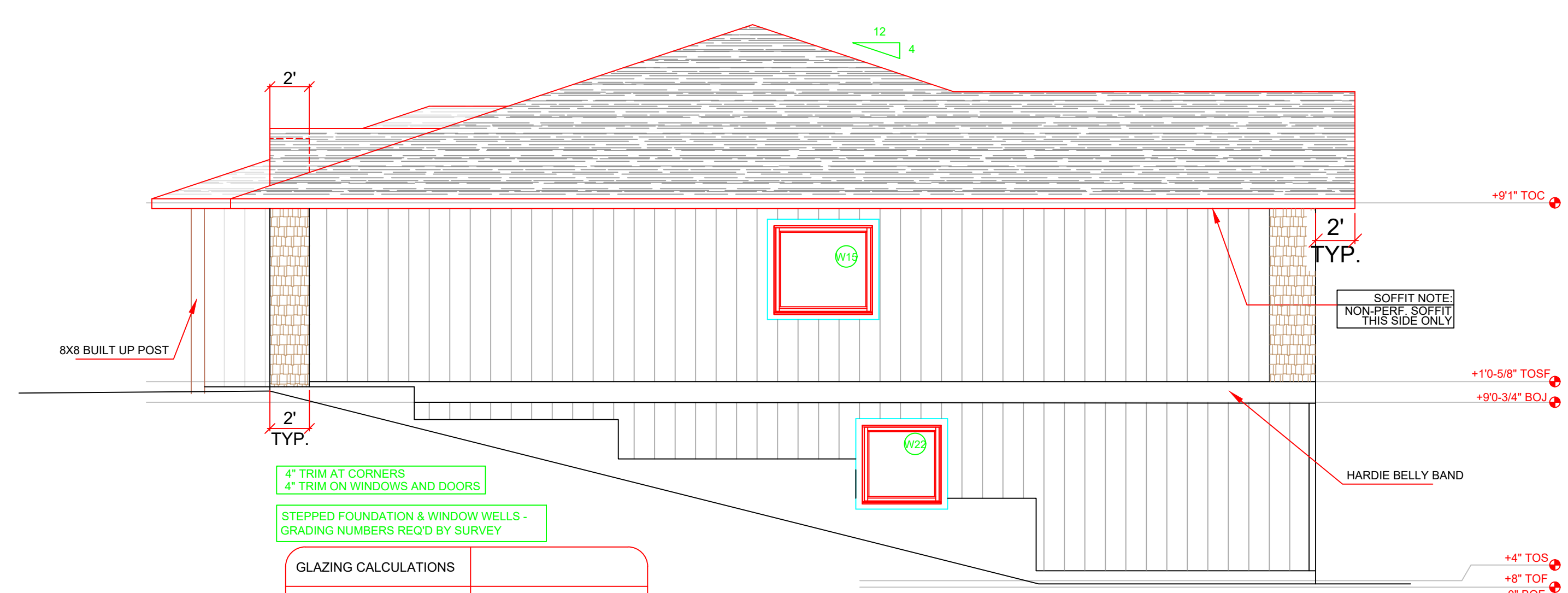
FRONT ELEVATION



GLAZING CALCULATIONS	
WALL AREA (E.B.F.)	
WINDOW AREA	
RATIO	
ALLOWABLE	100%
LIMITING DISTANCE	21m [to prop line]

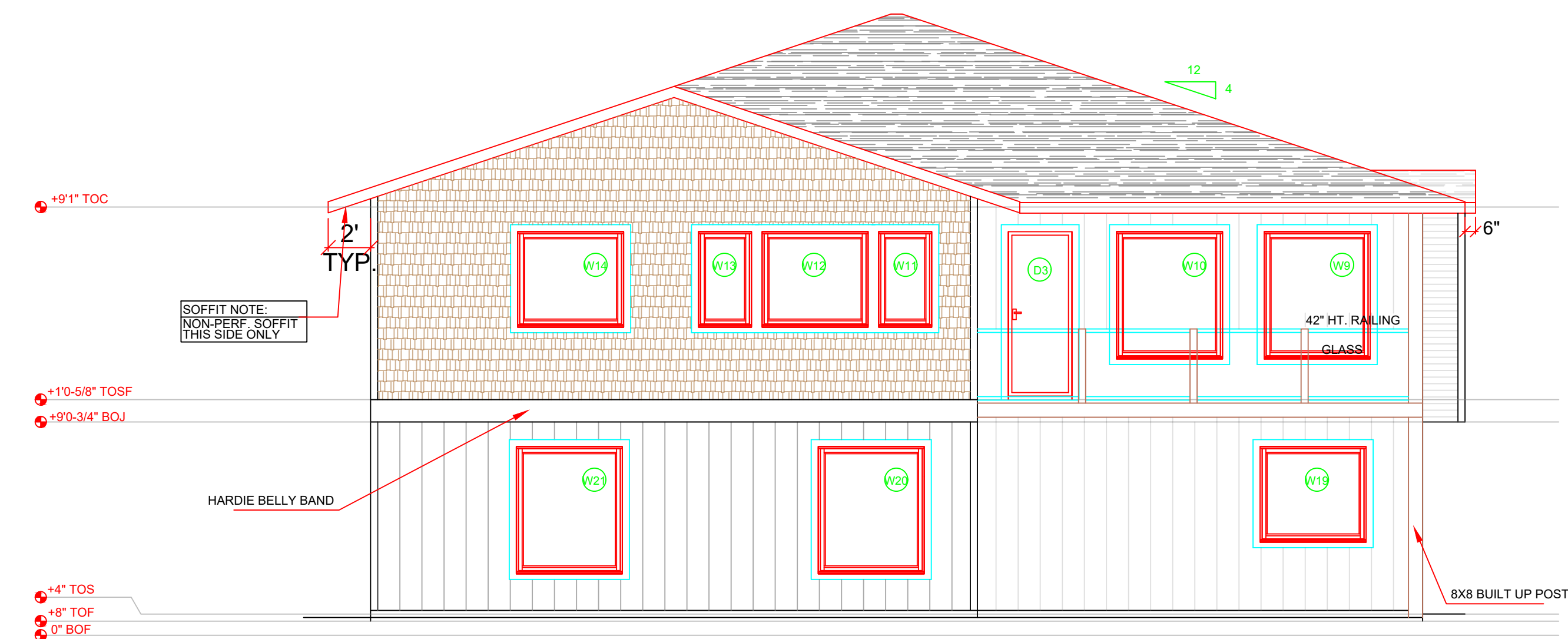
STREET CORNER ELEVATION

CONSTRUCTION OPTIONS
NO H.R.V. INSTALLED
NO SPRINKLER SYSTEM
CONC. FOUNDATION & FRAMED WALLS



GLAZING CALCULATIONS	
WALL AREA (E.B.F.)	822 sq ft [76.36 sq m]
WINDOW AREA	38.5 sq ft [3.58 sq m]
RATIO	4.6%
ALLOWABLE	8%
LIMITING DISTANCE	21m [to prop line]

RIGHT ELEVATION



GLAZING CALCULATIONS	LEFT	RIGHT
WALL AREA (E.B.F.)	633 sq ft [58.8 sq m]	
WINDOW AREA	140 sq ft [13.0 sq m]	
RATIO	22%	
ALLOWABLE	53.06%	100%
LIMITING DISTANCE	6-7.5m [to prop line]	9+m [to prop line]

REAR ELEVATION

REV. #	DATE	REVISION
1	APR 25/21	LAUNDRY/POWDER ROOM
2	APR 29/21	STAIRS, RET WALL, WINDOWS
3	MAY 10/21	PATIO DOOR, WINDOWS
4	MAY 27/21	DROP GARAGE, OH DOORS
5	JUNE 3/21	PAD SIZE CHANGE BELOW DECK PILLARS
6	JUNE 7/21	WINDOW/SCHED. DOOR BUCKETS IN FOUNDATION WIDENED BY 2"
7	SEPT 8/21	SUITE WALL - LOAD BEARING
8	SEPT 28/21	SUSPENDED SLAB/BONUS ROOM
9	OCT 7/21	PAD REMOVED [FOUNDATION]
10	OCT 29/21	FOUNDATIONS AND STRIP FOOTINGS AS PER ENG.
11	NOV 22/21	MINI B BASEMENT FLOOR REVISED DOORS 22 & 4 REMOVED
12	NOV 25/21	TUB ORIENTATION
13	DEC 6/21	BEAM POCKET NOTE
14	DEC 10/21	MINOR KITCHEN CHANGES
15	JAN 10/22	ROOF PLAN UPDATED
16	JAN 12/22	W-7-10 CHANGED TO 6" HIGH
17	JAN 14/22	ENSUITE LAYOUT REVISED
18	MAR 17/22	DOOR HEIGHTS CHANGED TO 6'8"

NO.	DATE	DESCRIPTION
REVISIONS		



LEGAL DESCRIPTION
210 - 16 Ave SE

PROJECT NO.
CUSTOMER
HOUSE 23

SHEET TITLE
ELEVATIONS

DATE
MAR 17/22
SCALE
3/16"=1'
DRAWN
PC
CHECKED
XX
SHEET NUMBER
A-2

WALL TYPES

BASEMENT WALL (TYP.)

- 8" OR 10" CONC WALL
- 1/2" AIR SPACE
- 2X6 FRAMED WALL
- R20 INSULATION
- 6 MIL POLY
- 1/2" TYPE X DRYWALL

FIRE SEPARATION WALL (SUITE) [W3c]

- 1/2" DRYWALL
- 2X6 FRAME WALL
- SAFE AND SOUND INSULATION
- 1/2" RESILIENT METAL CHANNEL (SOUND BAR) @16" O.C.
- 1/2" TYPE X DRYWALL (45 MINUTE FIRE RATING)

INTERIOR WALL (SOUND) [W3c]

- 1/2" DRYWALL
- 2X4 FRAME WALL
- SAFE AND SOUND INSULATION
- 1/2" RESILIENT METAL CHANNEL (SOUND BAR) @16" O.C.
- 1/2" TYPE X DRYWALL (45 MINUTE FIRE RATING)

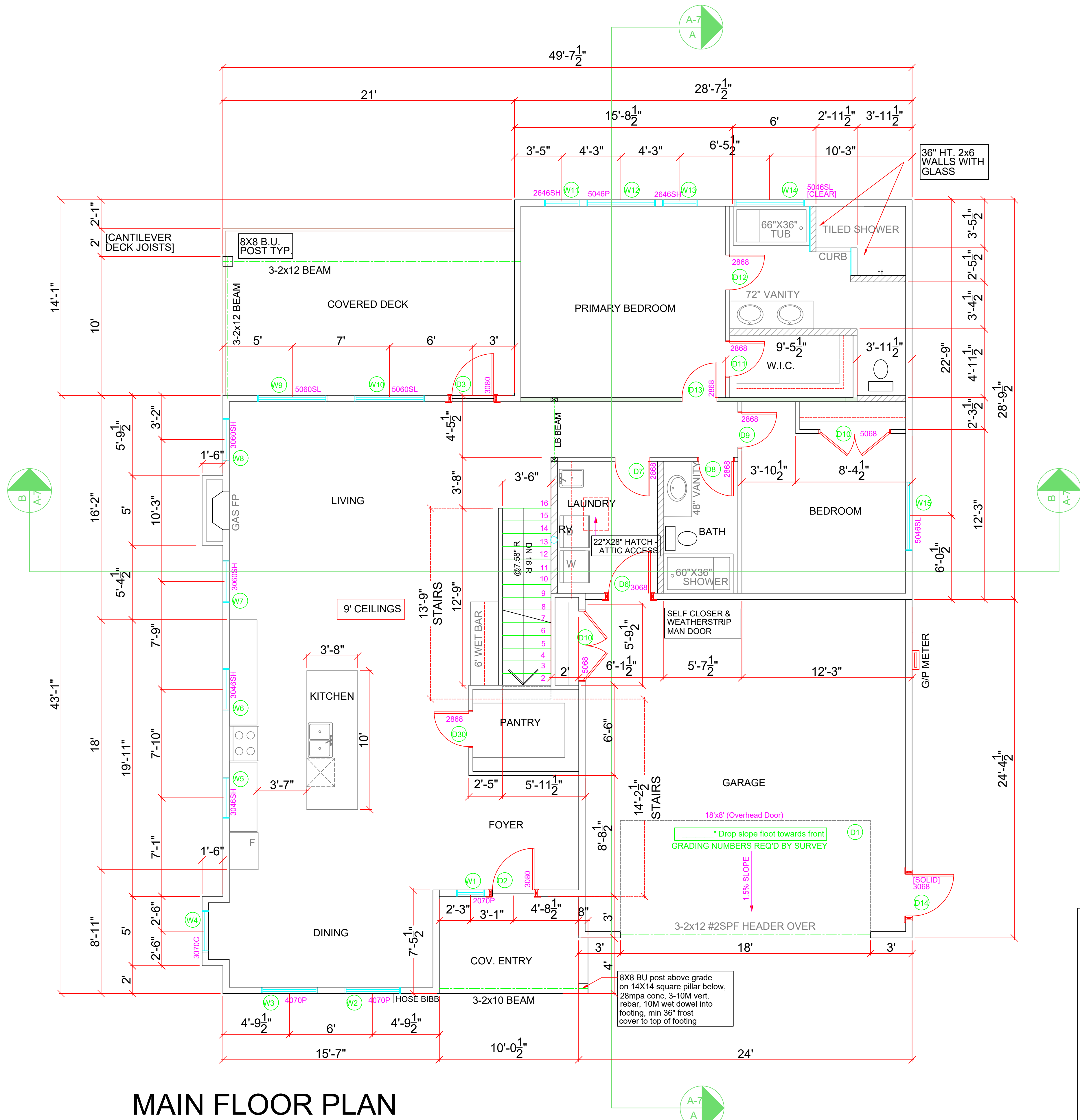
INTERIOR WALL (TYP) [W1e]

- 1/2" DRYWALL
- 2X4 FRAME WALL (2X6 FRAME WALL FOR PLUMB OR LOAD BEARING)
- 1/2" TYPE X DRYWALL (30 MINUTE FIRE RATING)

EXTERIOR WALL (TYP.) [EW1b]

- SIDING
- 1/2" OSB
- BUILDING PAPER
- 2X6 FRAME WALL
- R22 BATT INS.
- 6 MIL POLY
- 1/2" TYPE X DRYWALL (45 MINUTE FIRE RATING)

ALL WALLS FRAMED AT 16" O.C. UNLESS OTHERWISE NOTED



WINDOW/DOOR LEGEND

PICTURE - P
AWNING - A
HORIZONTAL SLIDER - SL
SINGLE HUNG - SH
CASEMENT - C

SAFE & SOUND INSULATION

PLUMB WALL

- FLOOR NOTES**
- FRAMED EXTERIOR WALLS INCLUDE EXTERIOR SHEATHING.
 - ALL DIMENSIONS SHOWN ARE TO FRAMING AND DO NOT INCLUDE DRYWALL OR OTHER FINISHES
 - ALL HEADERS TO BE 3-2X10 IN 2X6 WALLS AND 2-2X10 IN 2X4 WALLS UNLESS NOTED OTHERWISE
 - ALL DOORS AND WINDOWS FRAMED 4-1/2" FROM ADJACENT WALLS UNLESS NOTED OTHERWISE
 - ALL DOOR SLABS TO MEASURE 80" IN HEIGHT UNLESS OTHERWISE NOTED
 - INDIVIDUAL ROOM AREAS ARE CALCULATED FROM INSIDE OF FRAMING WHEREAS THE OVERALL FLOOR AREA IS CALCULATED TO OUTSIDE EXTERIOR WALLS

SAFE AND SOUND NOTE
SOUND BAR REQ'D AROUND MASTER BEDROOM AND W.I.C. WALLS AS SHOWN

EXHAUST FAN NOTE
FANS TO BE INSTALLED IN ALL BATHROOMS AND IN THE KITCHEN

CEILING TYPES

SUITE CEILING [F8c]
STC 48

- PLYWOOD SUBFLOOR
- ENG JOISTS
- RESILIENT METAL CHANNEL (SOUND BAR) @16" O.C.
- 3.5" MIN. ABSORBATIVE MATERIAL (ROXUL)
- 1/2" TYPE X DRYWALL (45 MINUTE FIRE RATING)

STANDARD CEILING [F3a]
STC 31

- PLYWOOD SUBFLOOR
- ENG JOISTS
- 1/2" DRYWALL (30 MINUTE FIRE RATING)

STANDARD CEILING [F3b]
STC 31

- PLYWOOD SUBFLOOR
- ENG JOISTS
- 2" SPRAY FOAM
- R28 BATT
- 1/2" DRYWALL (30 MINUTE FIRE RATING)

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REV. #	DATE	REVISION
1	APR 25/21	LAUNDRY/POWDER ROOM
2	APR 29/21	STAIRS, RET. WALL, WINDOWS
3	MAY 10/21	PATIO DOOR, WINDOWS
4	MAY 27/21	DROP GARAGE, OH DOORS
5	JUNE 3/21	PAD SIZE CHANGE BELOW DECK PILLARS
6	JUNE 7/21	WINDOOR SCHED, DOOR BUCKETS IN FOUNDATION WIDENED BY 2"
7	SEPT 8/21	SUITE WALL - LOAD BEARING
8	SEPT 28/21	SUSPENDED SLABOROUS ROOM
9	OCT 7/21	PAD REMOVED [FOUNDATION]
10	OCT 29/21	FOUNDATIONS AND STRIP FOOTINGS AS PER ENG.
11	NOV 22/21	MINI 8 BASEMENT FLOOR REVISED DOORS 22 & 4 REMOVED
12	NOV 25/21	TUB ORIENTATION
13	DEC 6/21	BEAM POCKET NOTE
14	DEC 10/21	MINOR KITCHEN CHANGES
15	JAN 10/22	ROOF PLAN UPDATED
16	JAN 12/22	W-7-10 CHANGED TO 6" HIGH
17	JAN 14/22	ENSUITE LAYOUT REVISED
18	MAR 17/22	DOOR HEIGHTS CHANGED TO 6'8"

WOOD CREEK CONSTRUCTION LTD.
-Building with Confidence-

LEGAL DESCRIPTION
210 - 16 Ave SE

PROJECT NO.
CUSTOMER: HOUSE 23
SHEET TITLE: MAIN FLOOR PLAN

DATE: MAR 17/22
SCALE: 1/4"=1'-0"
DRAWN: PC
CHECKED: XX

SHEET NUMBER: A-3

WINDOW/DOOR LEGEND
PICTURE - P
AWNING - A
HORIZONTAL SLIDER - SL
SINGLE HUNG - SH
CASEMENT - C

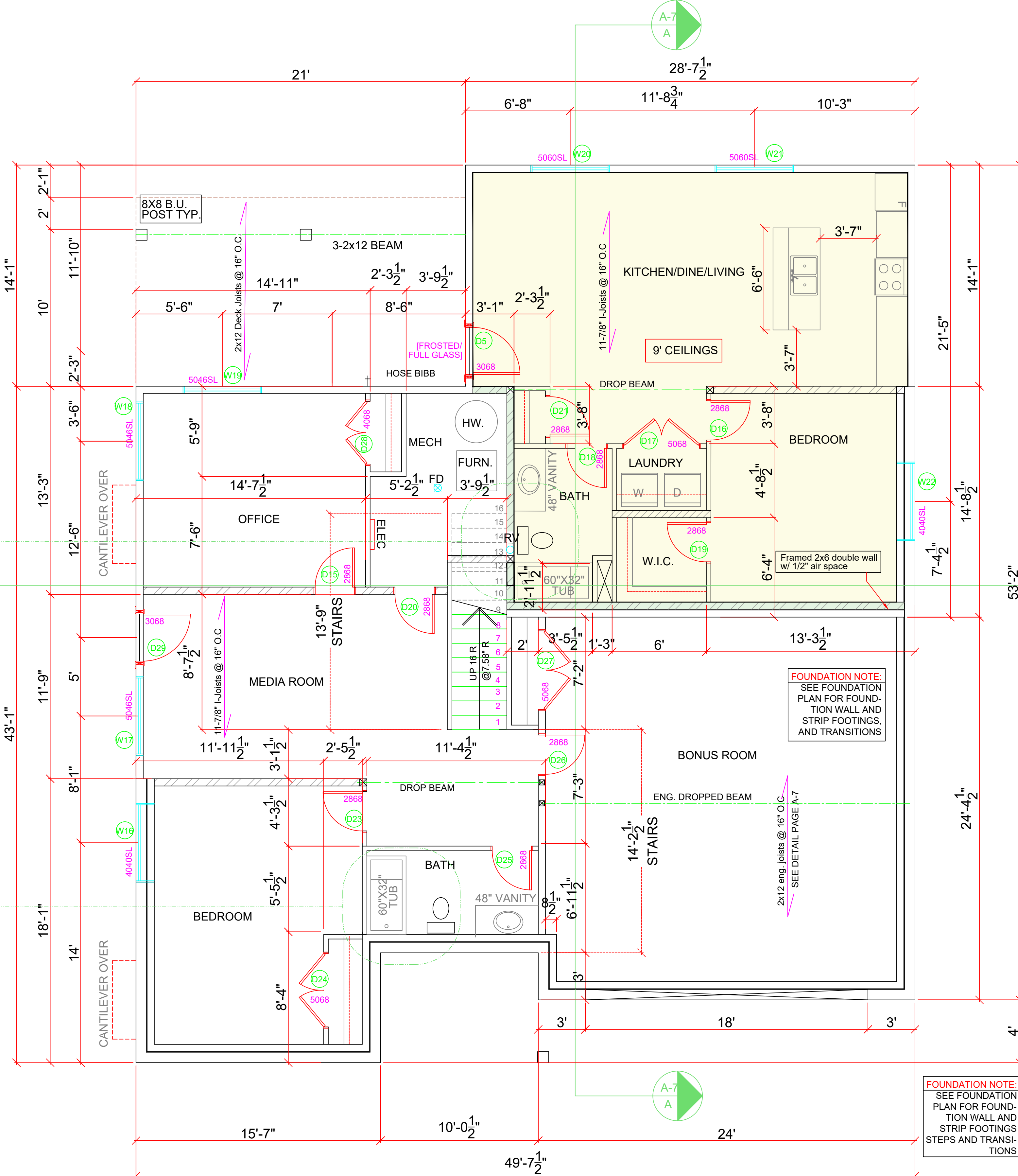
- | FLOOR NOTES |
|---|
| 1. FRAMED EXTERIOR WALLS DOES NOT INCLUDE EXTERIOR SHEATHING. |
| 2. ALL DIMENSIONS SHOWN ARE TO FRAMING AND DO NOT INCLUDE DRYWALL OR OTHER FINISHES UNLESS NOTED OTHERWISE |
| 3. ALL HEADERS TO BE 3-2X10 IN 2X6 WALLS AND 2-2X10 IN 2X4 WALLS UNLESS OTHERWISE NOTED |
| 4. ALL DOORS AND WINDOWS FRAMED 4-1/2" FROM ADJACENT WALLS UNLESS NOTED OTHERWISE |
| 5. ALL DOOR SLABS TO MEASURE 80" IN HEIGHT UNLESS OTHERWISE NOTED |
| 6. INDIVIDUAL ROOM AREAS ARE CALCULATED FROM INSIDE OF FRAMING WHEREAS THE OVERALL FLOOR AREA IS CALCULATED TO OUTSIDE EXTERIOR WALLS |

- SAFE & SOUND INSULATION
- PLUMB WALL
- L.B. WALL

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REV. #	DATE	REVISION
1	APR 2521	LAUNDRY/POWDER ROOM
2	APR 2521	STAIRS, RET WALL, WINDOWS
3	MAY 1021	PATIO DOOR, WINDOWS
4	MAY 2721	DROP GARAGE, OH DOORS
5	JUNE 321	PAD SIZE CHANGE BELOW DECK PILLARS
6	JUNE 721	WINDOW/DOOR SCHEDULES, DOOR BUCKETS IN FOUNDATION, WISDED BY 7"
7	SEPT 821	SUITE WALL - LOAD BEARING
8	SEPT 2521	SUSPENDED SLAB/BONUS ROOM
9	OCT 721	PAD REMOVED [FOUNDATION]
10	OCT 2521	FOUNDATIONS AND STRIP FOOTINGS AS PER ENG.
11	NOV 2221	MINI 8 BASEMENT FLOOR REVISED DOORS 22 & 4 REMOVED
12	NOV 2521	TUB ORIENTATION
13	DEC 621	BEAM POCKET NOTE
14	DEC 1021	MINOR KITCHEN CHANGES
15	JAN 1022	ROOF PLAN UPDATED
16	JAN 1222	W-7,10 CHANGED TO 6" HIGH
17	JAN 1422	ENSUITE LAYOUT REVISED
18	MAR 1722	DOOR HEIGHTS CHANGED TO 6'8"



BASEMENT PLAN (SUITE OPTION)

2181 SQ. FT.
SUITE - 724 SQ FT.
9' Ceilings

SAFE AND SOUND NOTE
SOUND BAR REQ'D ON SUITE SIDE FIREWALL AS WELL AS FUTURE SUITE CEILING

FIRE SEPARTION NOTE
45 MINUTE FIRE SEPARTION MINIMUM BETWEEN SUITE AND FINISHED BASEMENT (TYPE X GYPSUM BOTH SIDES)

MAIN VENTILATION NOTE
PROVIDE EXHAUST FAN (CONTINUOUS FAN), AND FURNACE FAN TO PROVIDE CONTINUOUS VENTILATION FOR MAIN DWELLING

SUITE VENTILATION NOTE
PROVIDE EXHAUST FAN (CONTINUOUS FAN), AND CRV FOR SUITE

TOILET NOTE
TOILETS AGAINST 10" CONC. AND SUITE SIDE OF WALL TO BE PLACED 1" FURTHER FROM 2x6 FROST WALL/ SUITE SEPARATION WALL

NO.	DATE	DESCRIPTION
REVISIONS		



LEGAL DESCRIPTION
210 - 16 Ave SE

PROJECT NO.
CUSTOMER
HOUSE 23
SHEET TITLE
LOWER FLOOR PLAN

DATE
MAR 17/22
SCALE
1/4"=1'
DRAWN
PC
CHECKED
XX
SHEET NUMBER
A-4

BACKFILL NOTE:
 BACKFILL HEIGHT CANNOT EXCEED REQUIREMENTS AS PER SUBSECTION 9.15.4 OF BC BLDG CODE

FINAL GRADE NOTE:
 final grades and stepped foundation to be determined by Wood Creek

SLAB NOTE:
 4" conc slab, min 32MPA conc, 6 mil poly vapour barrier sealed to walls, 4" drain rock or other clean material suitable for the movement of radon gas in mech room only

FLOOR JOIST NOTE
 Joists to sit on 2x6 perimeter wall, when foundation wall is 1' higher. Strip footing to transition to 6"x24"

FOOTING NOTE #1
 8"x20" conc strip footing min 28MPA concrete, 2-10M bars around 10' foundation wall

FOOTING NOTE #2
 6"x18" conc strip footing min 28MPA concrete, 2-10M bars around rest of foundation wall

VENTILATION NOTE
 PROVIDE EXHAUST FAN AND FURNACE FAN TO FOR CONTINUOUS VENTILATION

ENGINEERING NOTE
 Garage footings, pads, & foundation heights as per structural engineer (see Eng. plans for confirmation)

SAFE & SOUND INSULATION
 PLUMB WALL
 LOAD BEARING WALL
 1' HIGHER FOUNDATION

FLOOR NOTES

- FRAMED EXTERIOR WALLS DO NOT INCLUDE EXTERIOR SHEATHING.
- ALL DIMENSIONS SHOWN ARE TO FRAMING AND DO NOT INCLUDE DRYWALL OR OTHER FINISHES
- ALL HEADERS TO BE 3-2X10 IN 2X6 WALLS AND 2-2X10 IN 2X4 WALLS UNLESS NOTED OTHERWISE
- ALL DOORS AND WINDOWS FRAMED 4-1/2" FROM ADJACENT WALLS UNLESS NOTED OTHERWISE
- ALL DOOR SLABS TRO MEASURE 80" IN HEIGHT UNLESS OTHERWISE NOTED
- INDIVIDUAL ROOM AREAS ARE CALCULATED FROM INSIDE OF FRAMING WHEREAS THE OVERALL FLOOR AREA IS CALCULATED TO OUTSIDE EXTERIOR WALLS

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REV. #	DATE	REVISION
1	APR 25/21	LAUNDRY/POWDER ROOM
2	APR 28/21	STAIRS, RET WALL, WINDOWS
3	MAY 10/21	PATIO DOOR, WINDOWS
4	MAY 27/21	DROP GARAGE, OH DOORS
5	JUNE 3/21	PAD SIZE CHANGE BELOW DECK PILLARS
6	JUNE 7/21	WINDOWS/SCHEDULE, DOOR BUCKETS IN FOUNDATION WIDENED BY 3"
7	SEPT 8/21	SUITE WALL - LOAD BEARING
8	SEPT 28/21	SUSPENDED SLAB/BONUS ROOM
9	OCT 7/21	PAD REMOVED (FOUNDATION)
10	OCT 25/21	FOUNDATIONS AND STRIP FOOTINGS AS PER ENG.
11	NOV 22/21	MINI 8 BASEMENT FLOOR REVISED DOOR, 22 & 4 REMOVED
12	NOV 25/21	TUB ORIENTATION
13	DEC 2/21	BEAM POCKET NOTE
14	DEC 10/21	MINOR KITCHEN CHANGES
15	JAN 10/22	ROOF PLAN UPDATED
16	JAN 12/22	W-7-10 CHANGED TO 6" HIGH
17	JAN 14/22	ENSUITE LAYOUT REVISED
18	MAR 17/22	DOOR HEIGHTS CHANGED TO 6'8"

NO.	DATE	DESCRIPTION



LEGAL DESCRIPTION

210 - 16 Ave SE

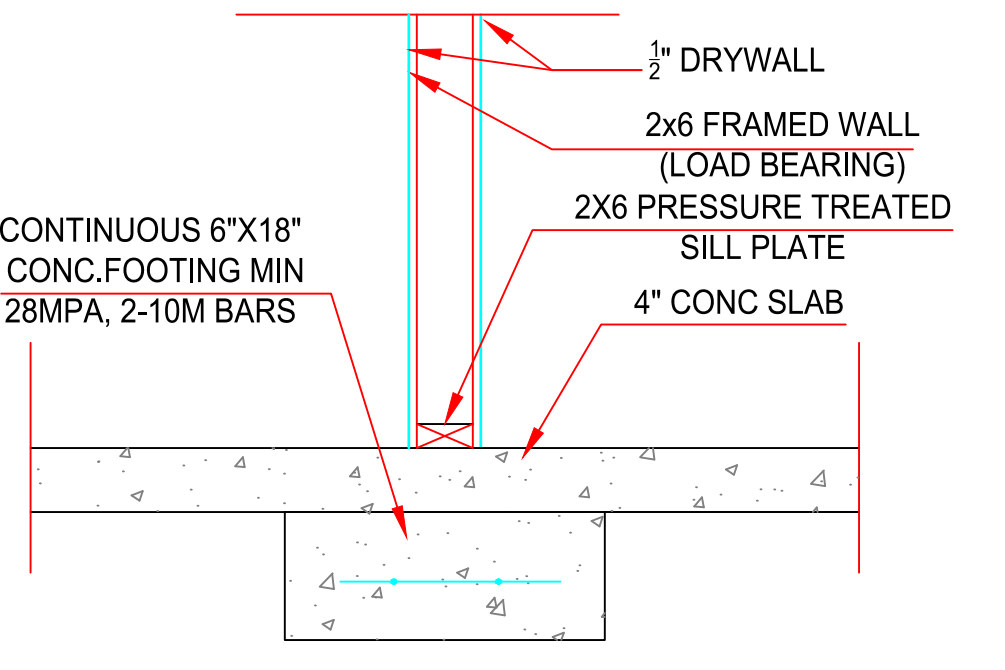
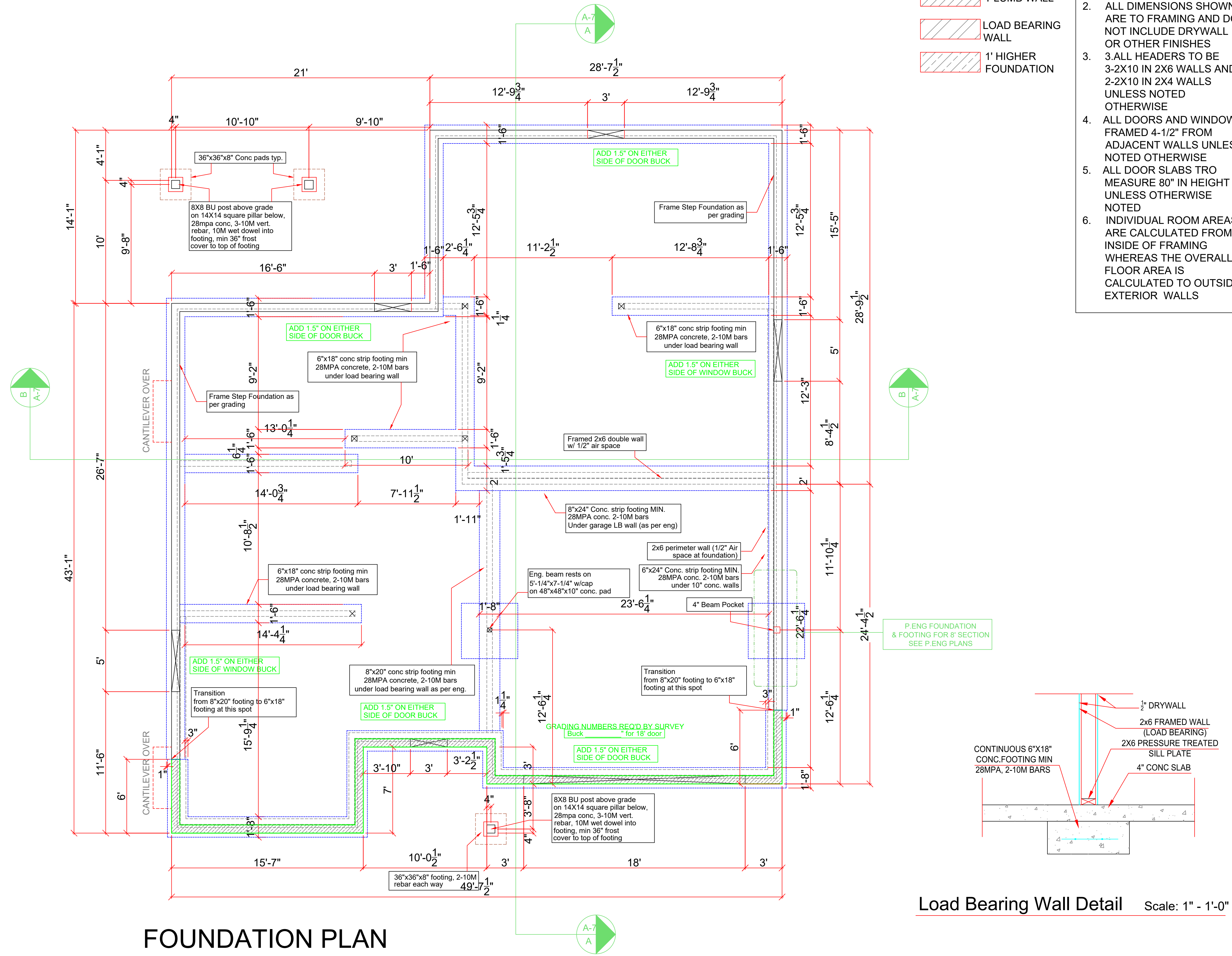
PROJECT NO.

CUSTOMER
 HOUSE 23

SHEET TITLE
 FOUNDATION PLAN

DATE: MAR 17/22
 SCALE: 1/4"=1'-0"
 DRAWN: PC
 CHECKED: XX

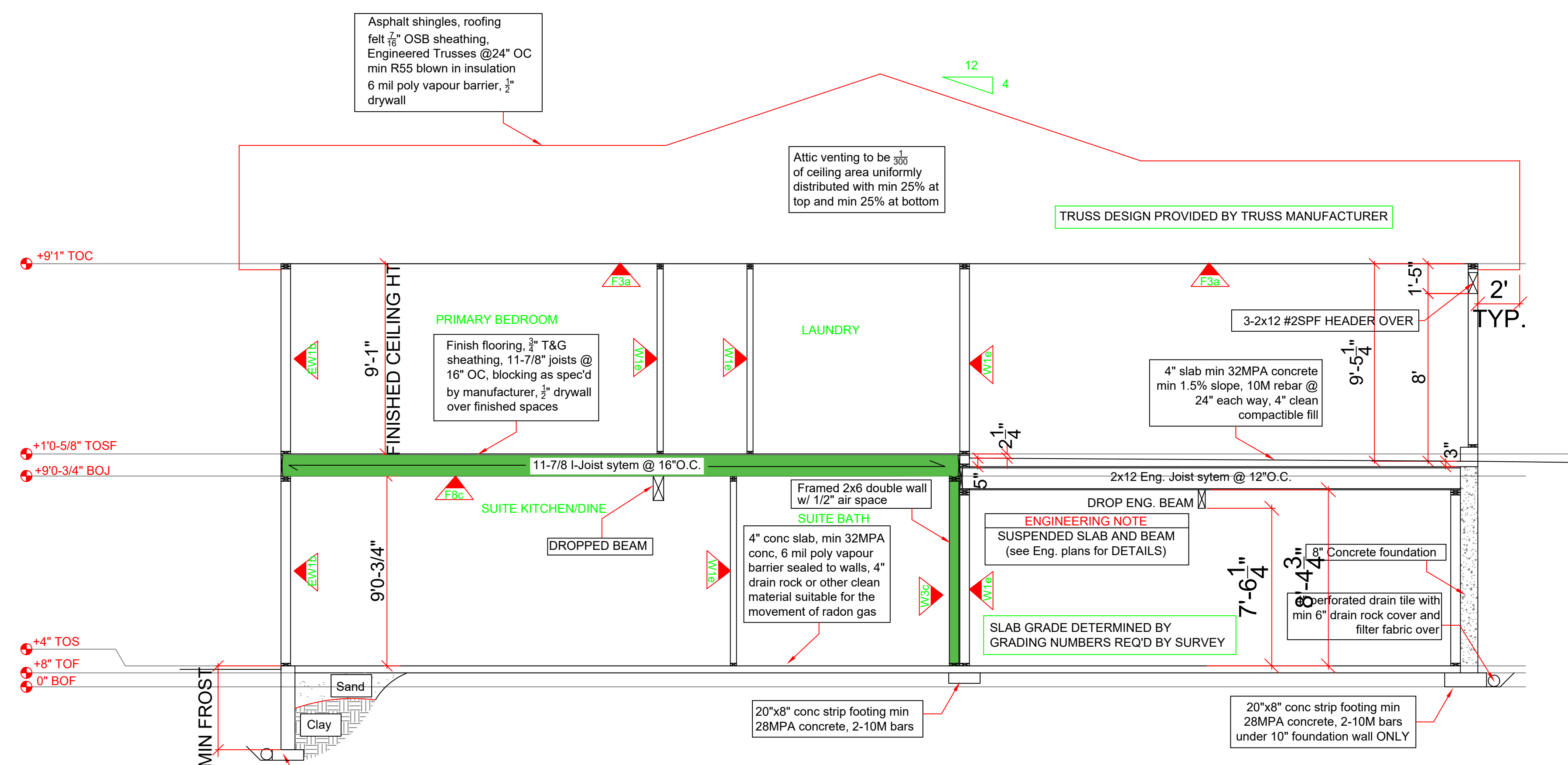
SHEET NUMBER
 A-5



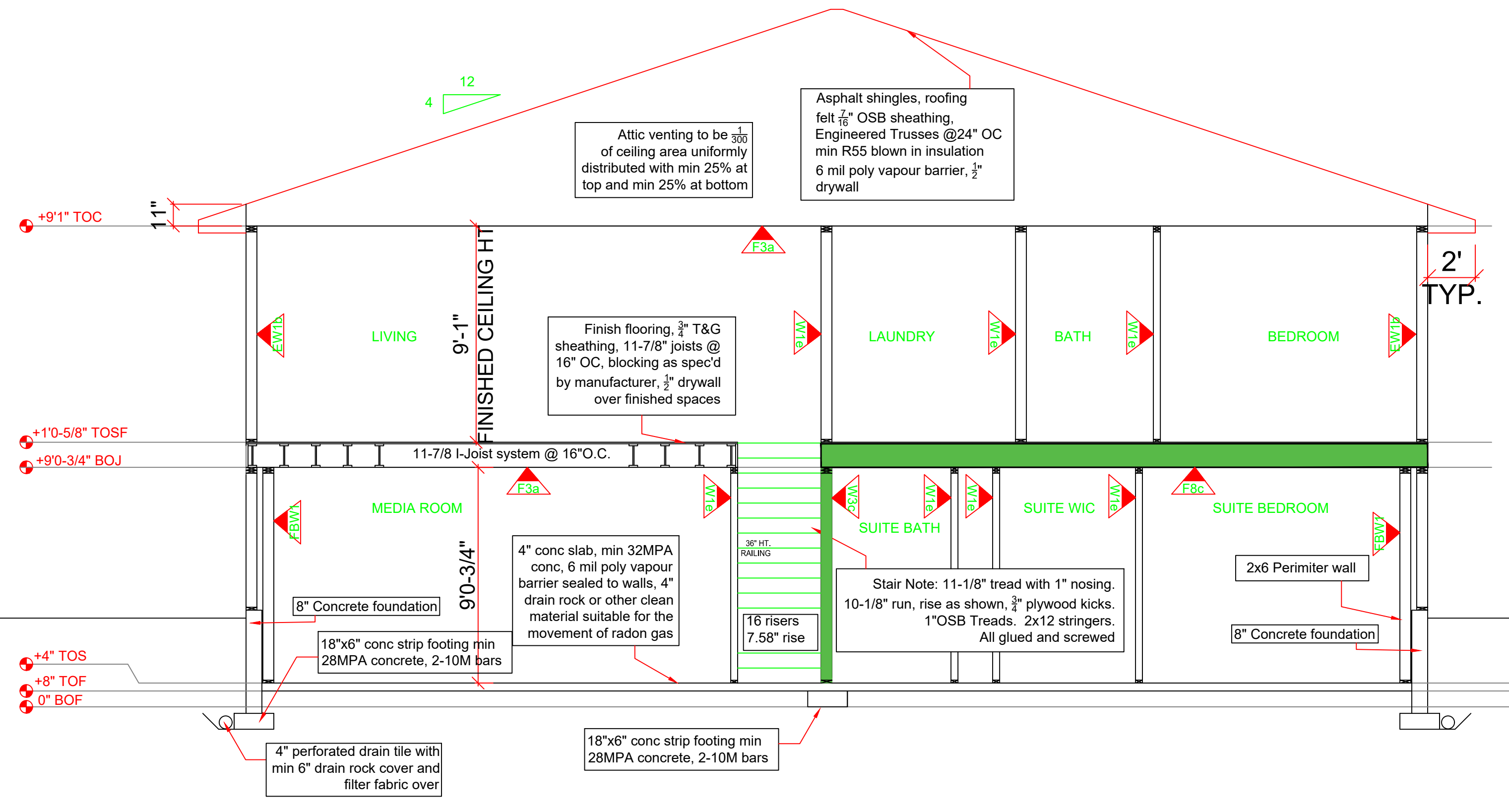
Load Bearing Wall Detail Scale: 1" = 1'-0"

FOUNDATION PLAN

9' Ceilings



CROSS SECTION - A



CROSS SECTION - B

DOOR SCHEDULE						
MARK			DOOR OPERATION	RO WIDTH [+2"]	RO HEIGHT	SIDE LITES LOCATION
D	1	18080	OVERHEAD	18'0"	8'0"	GARAGE
D	2	3080	SWING SIMPLE	3'2-3/8"	8'0"	FRONT ENTRY
D	3	3080	SWING SIMPLE	3'2-3/8"	8'0"	DECK ENTRY
D	5	3068	SWING SIMPLE	3'2-3/8"	6'11"	SUITE ENTRY
D	6	3068	SWING SIMPLE	3'2-3/8"	6'11"	INT. GARAGE
D	7	2868	SWING SIMPLE	2'8"	6'11"	LAUNDRY
D	8	2868	SWING SIMPLE	2'8"	6'11"	BATH
D	9	2868	SWING SIMPLE	2'8"	6'11"	BEDROOM
D	10	5068	SWING BI-PART	5'0"	6'11"	BEDROOM CLOSET
D	11	2868	SWING SIMPLE	2'8"	6'11"	WIC
D	12	2868	SWING SIMPLE	2'8"	6'11"	ENSUITE
D	13	2868	SWING SIMPLE	2'8"	6'11"	PRIMARY BED
D	14	3068	SWING SIMPLE	3'2-3/8"	6'11"	GARAGE SIDE
D	15	2868	SWING SIMPLE	2'8"	6'11"	OFFICE
D	16	2868	SWING SIMPLE	2'8"	6'11"	SUITE BED
D	17	5068	SWING BI-PART	5'0"	6'11"	SUITE LAUNDRY
D	18	2868	SWING SIMPLE	2'8"	6'11"	SUITE BATH
D	19	2868	SWING SIMPLE	2'8"	6'11"	SUITE WIC
D	20	2868	SWING SIMPLE	2'8"	6'11"	MECH
D	21	2868	SWING SIMPLE	2'8"	6'11"	SUITE CLOSET
D	23	2868	SWING SIMPLE	2'8"	6'11"	BEDROOM
D	24	5068	SWING BI-PART	5'0"	6'11"	BEDROOM CLOSET
D	25	2868	SWING SIMPLE	2'8"	6'11"	BATH
D	26	2868	SWING SIMPLE	2'8"	6'11"	BONUS ROOM
D	27	5068	SWING BI-PART	5'0"	6'11"	BONUS ROOM CLOSET
D	28	4068	SWING BI-PART	4'0"	6'11"	OFFICE CLOSET
D	29	3068	SWING SIMPLE	3'2-3/8"	6'11"	RECEPTION
D	30	2868	SWING SIMPLE	2'8"	6'11"	PANTRY

WINDOW SCHEDULE					
MARK			SASH OPERATION	RO WIDTH [+1/8"]	RO HEIGHT [+1/8"] COMMENTS
W	1	2070	PICTURE	2'0"	7'0"
W	2	4070	PICTURE	4'0"	7'0"
W	3	4070	PICTURE	3'0"	7'0"
W	4	3070	CASEMENT	3'0"	7'0"
W	5	3046	SINGLE HUNG	3'0"	4'6"
W	6	3046	SINGLE HUNG	3'0"	4'6"
W	7	3060	SINGLE HUNG	3'0"	6'0"
W	8	3060	SINGLE HUNG	3'0"	6'0"
W	9	5060	SLIDER	5'0"	6'0"
W	10	5060	SLIDER	5'0"	6'0"
W	11	2646	SINGLE HUNG	2'6"	4'6"
W	12	5046	PICTURE	5'0"	4'6"
W	13	2646	SINGLE HUNG	2'6"	4'6"
W	14	5046	SLIDER	5'0"	4'6"
W	15	5046	SLIDER	5'0"	4'6"
W	16	4040	SLIDER	4'0"	4'0"
W	17	5046	SLIDER	5'0"	4'6"
W	18	5046	SLIDER	5'0"	4'6"
W	19	5046	SLIDER	5'0"	4'6"
W	20	5060	SLIDER	5'0"	6'0"
W	21	5060	SLIDER	5'0"	6'0"
W	22	4040	SLIDER	4'0"	4'0"

NOTE: ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL CODES AND BYLAWS. DESIGN OF FOUNDATION AND FOOTINGS TO BE MODIFIED TO SUIT LOCAL SOIL CONDITIONS AS REQUIRED.
DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE. THIS DRAWING IS THE PROPERTY OF WOOD CREEK CONSTRUCTION AND MAY BE USED ONLY FOR THE PURPOSE FOR WHICH IT IS LOANED BY THE COMPANY.

REV. #	DATE	REVISION
1	APR 5/21	LAUNDRY/POWDER ROOM
2	APR 28/21	STAIRS, RET WALL, WINDOWS
3	MAY 10/21	PATIO DOOR, WINDOWS
4	MAY 27/21	DROP GARAGE, OH DOORS
5	JUNE 3/21	PAD SIZE CHANGE BELOW DECK PILLARS
6	JUNE 7/21	WINDOW/DOOR SCHEDULE DOOR BUCKETS IN FOUNDATION WIDENED BY 2"
7	SEPT 8/21	SUITE WALL - LOAD BEARING
8	SEPT 28/21	SUSPENDED SLAB/BONUS ROOM
9	OCT 7/21	PAD REMOVED [FOUNDATION] FOUNDATIONS AND STRIP FOOTINGS AS PER ENG.
10	OCT 29/21	MIN 8' BASEMENT FLOOR REVISED DOORS 22 & 4 REMOVED
11	NOV 22/21	TUB ORIENTATION
12	NOV 25/21	BEAM POCKET NOTE
13	DEC 6/21	MINOR KITCHEN CHANGES
14	JAN 10/22	ROOF PLAN UPDATED
15	JAN 12/22	W-7-10 CHANGED TO 6" HIGH
16	JAN 14/22	ENSUITE LAYOUT REVISED
17	MAR 17/22	DOOR HEIGHTS CHANGED TO 6'8"

NO. DATE DESCRIPTION

REVISIONS



LEGAL DESCRIPTION

210 - 16 Ave SE

PROJECT NO.

CUSTOMER HOUSE 23

SHEET TITLE SECTIONS & WINDOW/DOOR SCHEDULES

DATE MAR 17/22 SCALE 3/16"=1' DRAWN PC CHECKED XX SHEET NUMBER A-7