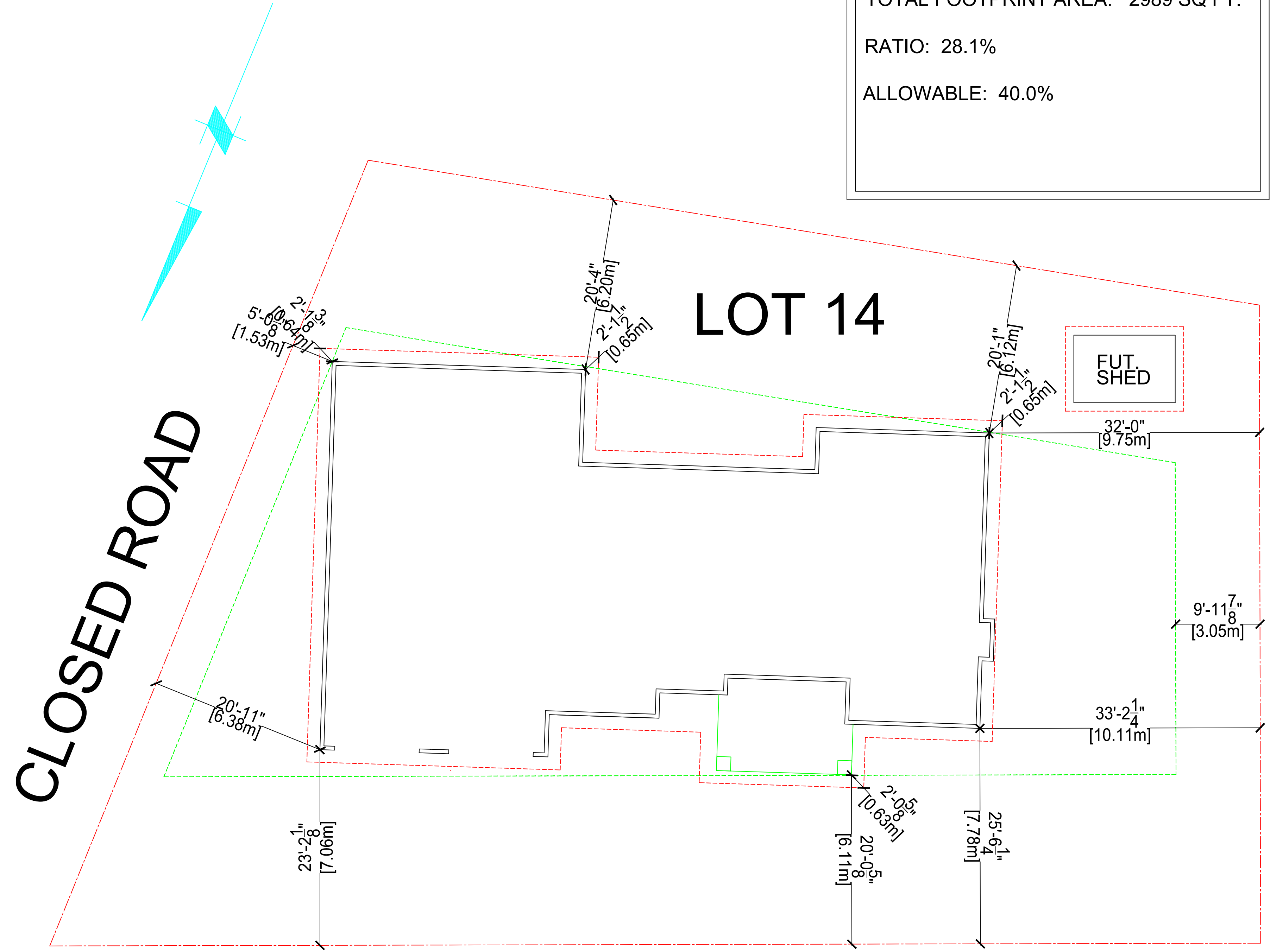


SHEET LEGEND
 A1 - SITE PLAN & NOTES
 A2 - ELEVATIONS
 A3 - FOUNDATION
 A4 - LOWER FLOOR PLAN
 A5 - UPPER FLOOR PLAN
 A6 - ROOF & DETAILS
 A7 - SECTIONS & SCHEDULES

LOT SETBACKS
 FRONT - 6M FRONTAGE
 16M LIMITING DIST. TO CENTER OF ROAD
 Back - 6M
 6.1-6.2m LIMITING DIST. TO REAR P.L.
 SIDE 1.5M
 9.7-10.1M LIMITING DIST. RIGHT P.L.
 1.53-6.59M LIMITING DIST. LEFT P.L.

LOT COVERAGE:
 LOT AREA: 10649 SQ FT.
 MAIN FLOOR AREA: 1606 SQ FT.
 DEV. BASEMENT FLOOR: 1726 SQ FT.
 SUITE AREA - N/A
 TOTAL FOOTPRINT AREA: 2989 SQ FT.
 RATIO: 28.1%
 ALLOWABLE: 40.0%



19 AVE. SE SITE PLAN

NOTE: GEOMATIC/SURVEY/GRADES REQ'D

GENERAL NOTES

- ALL CONSTRUCTION MATERIALS & WORKMANSHIP TO BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE B.C. BUILDING CODE PLUMBING CODE, ELECTRICAL CODE, AND ALL OTHER CODES, ZONING, AND BYLAWS THAT MAY APPLY.
- THE CONTRACTOR AND ALL SUB-TRADES ARE RESPONSIBLE FOR THE REVIEW OF ALL DRAWINGS AND SITE CONDITIONS PRIOR TO COMMENCING WORK OR ORDERING ANY MATERIAL, AND SHALL REPORT AND DISCREPANCIES THAT AFFECT DESIGN TO WOOD CREEK IMMEDIATELY
- ALL FRAMING MATERIAL TO BE S.P.F. #2 OR BETTER WITH THE EXCEPTION OF WALL STUDS
- CONCRETE FOOTINGS AND WALLS TO BE A MINIMUM 28MPA @28 DAYS. FLOOR SLABS AND SIDEWALKS TO BE MINIMUM 32MPA @ 28 DAYS.
- ALL CONCRETE FOOTINGS TO BE PLACED ON ORIGINAL UNDISTURBED GROUND, FREE OF ALL ORGANIC, FROZEN OR FROSTY MATERIAL.
- DAMP PROOF FOUNDATION WALLS BELOW GRADE WITH 2 COATS OF BITUMINOUS MATERIAL.
- 6 MIL. ULTRAVIOLET RESISTANT POLY VAPOUR BARRIER ON A.) 4" OF GRANULAR COMPACTABLE FILL UNDER EXTERIOR OR GARAGE SLABS. OR B.) 4" OF 3/4" DRAIN ROCK OR OTHER MATERIAL SUITABLE FOR MOVEMENT OF RADON GAS UNDER INTERIOR SLABS.
- ALL FOUNDATION DRAINS TO BE 4" PERFORATED P.V.C. WITH FILTER CLOTH AND MINIMUM 6" DRAIN ROCK, DRAINED TO MUNICIPAL SERVICES ACCORDING TO LOCAL STANDARDS.
- GRADE TO BE SLOPED AWAY FROM BUILDING AT ALL LOCATIONS ADJACENT TO BUILDING.
- ALL TRUSSES I-JOISTS, BEAMS OR OTHER STRUCTURAL MEMBERS NOT COVERED IN B.C. BUILDING CODE TO BE DESIGNED AND ENGINEERED BY TRUSS MANUFACTURER OR STRUCTURAL ENGINEER PRIOR TO ANY FABRICATION.
- CONTRACTOR TO VERIFY ALL PROPERTY AND FOUNDATION LINES WITH A LEGAL LAND SURVEYOR PRIOR TO PLACING FOOTINGS OR RUNNING SERVICES WITHIN BUILDING ENVELOPE.
- ALL ROOF SPACES TO BE VENTILATED WITH SOFFIT AND ROOF VENTS WITH A MINIMUM DISTRIBUTION AREA OF 1/300. A MINIMUM OF 25% OF VENTS TO BE LOCATED AT ROOF. MINIMUM 25% TO BE LOCATED AT SOFFIT.
- DOOR FRAMES AT ENTRANCES AND EXTERIOR SPACES TO DWELLING UNITS SHALL BE SOLIDLY BLOCKED BETWEEN DOOR FRAME AND STUDS AT THE HEIGHT OF THE DEADBOLT TO RESIST SPREADING.
- ALL GLASS IN DOORS, SIDELITES OR WINDOWS WITHIN 12" OF FINISHED FLOOR TO BE CONSTRUCTED OF SAFETY GLASS.
- RAIN WATER LEADERS NOT SHOWN ON PLAN . CONTRACTOR TO DETERMINE EXACT LOCATION SUITABLE TO SITE AND MUNICIPAL DRAINAGE.
- ELECTRICAL LOCATIONS TO BE DETERMINED BY ELECTRICAL CONTRACTOR WITH THE APPROVAL OF THE HOME OWNER OR GENERAL CONTRACTOR AND IN ACCORDANCE WITH CURRENT ELECTRICAL CODE.
- APPROVED SMOKE ALARMS TO BE INSTALLED WITH LOCATION APPROVED BY APPROPRIATE LOCAL MUNICIPALITY.
- REFER TO LAOUTS AND SPECIFICATIONS FROM STRUCTURAL ENGINEER, FLOOR JOIST SUPPLIER, AND ROOF TRUSS MANUFACTURER FOR BEAM, POST, FOOTING LOCATIONS AND SIZES. ENSURE PROPER BEARING IS PROVIDED FOR ALL POINT LOADS. ANY STRUCTURAL SPECIFICATIONS SHOWN ON WOOD CREEK PLANS ARE ESTIMATES ONLY AND MAY NOT ACCURATELY REPRESENT LOADING AND SIZING, OR MAY NOT INCLUDE POINT LOADS OR STRUCTURAL MEMBERS DESIGNED BY OTHERS.

NOTE: ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL CODES AND BYLAWS. DESIGN OF FOUNDATION AND FOOTINGS TO BE MODIFIED TO SUIT LOCAL SOIL CONDITIONS AS REQUIRED
 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE. THIS DRAWING IS THE PROPERTY OF WOOD CREEK CONSTRUCTION AND MAY BE USED ONLY FOR THE PURPOSE FOR WHICH IT IS LOANED BY THE COMPANY

1	MAY 27/22	ELEVATOR REMOVED
2	JUNE 15/22	WINDOWS REVISED
3	JUNE 15/22	COV. CONC. DECK WINDOWS REVISED GUEST/LAUNDRY ROOM WIN.
4	JUNE 28/22	STAIR REVISIONS

NO.	DATE	DESCRIPTION
REVISIONS		



CIVIC ADDRESS
 1170 19th Ave. SE Salmon Arm

PROJECT NO.
 CUSTOMER
GREEN
 SHEET TITLE
SITE PLAN & GENERAL NOTES

DATE
 JUNE 28/22
 SCALE
 1/8"=1'
 DRAWN
 PC
 CHECKED
 XX
 SHEET NUMBER
A-1

BUCK DOWN NOTE:
BUCK DOWNS FOR OPENINGS SHALL BE 1.5" WIDER ON EACH SIDE OF OPENING

PLUMBING NOTE:
CONNECT 1-1/2" TO SERVICE LINE FROM STREET TO ACCOMMODATE SPRINKLER SYSTEM

BACKFILL NOTE:
BACKFILL HEIGHT CANNOT EXCEED REQUIREMENTS AS PER SUBSECTION 9.15.4 OF BC BLDG CODE

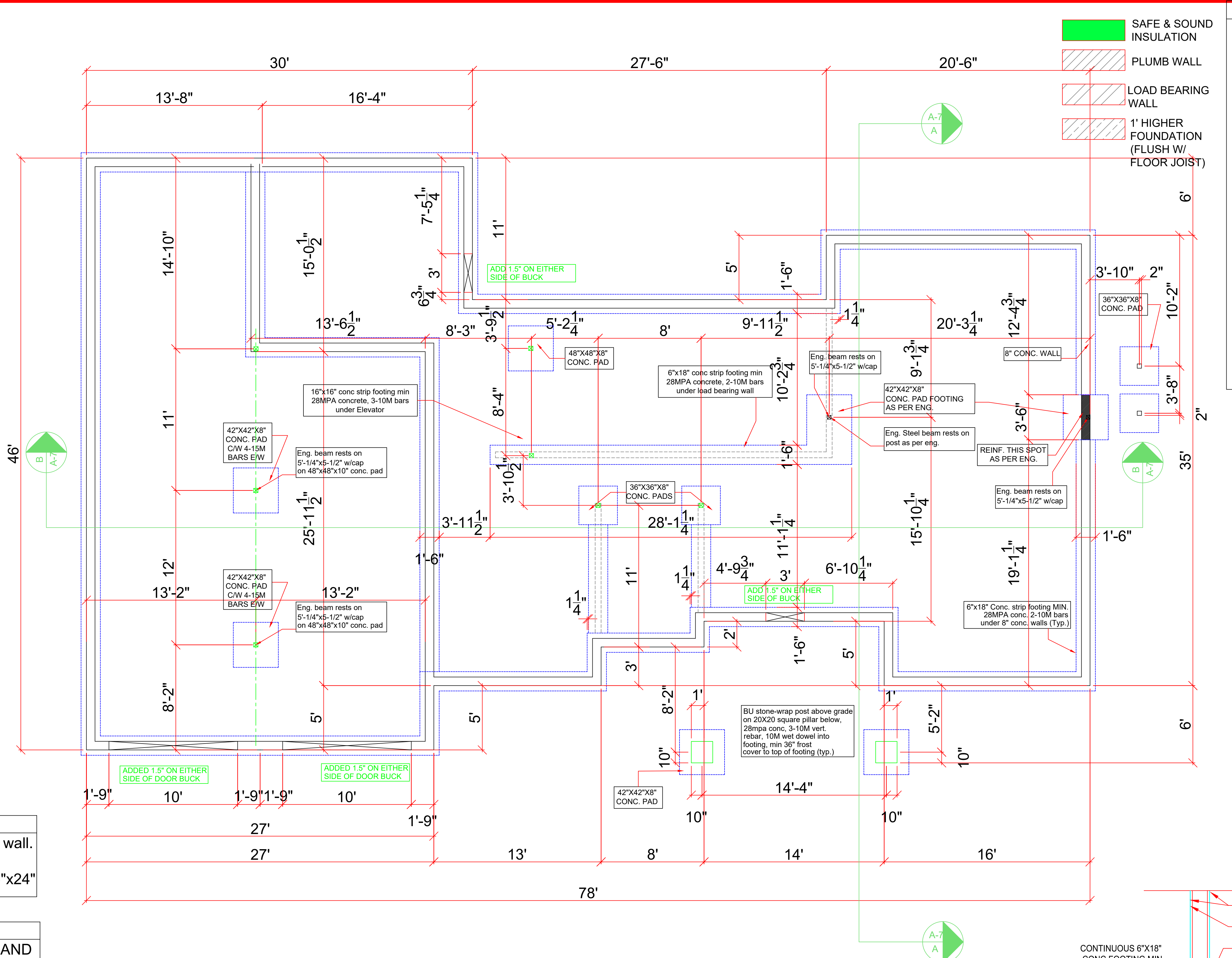
FINAL GRADE NOTE:
final grades and stepped foundation to be determined by Wood Creek

SLAB NOTE:
4" conc slab, min 32MPA conc, 6 mil poly vapour barrier sealed to walls, 4" drain rock or other clean material suitable for the movement of radon gas in mech room only

FLOOR JOIST NOTE
Joists to sit on 2x4 perimeter wall on front garage wall
Strip footing to transition to 6"x24"

VENTILATION NOTE
PROVIDE EXHAUST FAN AND FURNACE FAN TO FOR CONTINUOUS VENTILATION

ENGINEERING NOTE
Garage footings, pads, foundation and supports as per P.ENG. (see P.Eng. plans for confirmation)



- SAFE & SOUND INSULATION
- PLUMB WALL
- LOAD BEARING WALL
- 1' HIGHER FOUNDATION (FLUSH W/ FLOOR JOIST)

- FLOOR NOTES**
1. FRAMED EXTERIOR WALLS INCLUDES EXTERIOR SHEATHING.
 2. ALL DIMENSIONS SHOWN ARE TO FRAMING AND DO NOT INCLUDE DRYWALL OR OTHER FINISHES
 3. ALL HEADERS TO BE 3-2X10 IN 2X6 WALLS AND 2-2X10 IN 2X4 WALLS UNLESS NOTED OTHERWISE
 4. ALL DOORS AND WINDOWS FRAMED 4-1/2" FROM ADJACENT WALLS UNLESS NOTED OTHERWISE
 5. ALL DOOR SLABS TRO MEASURE 80" IN HEIGHT UNLESS OTHERWISE NOTED
 6. INDIVIDUAL ROOM AREAS ARE CALCULATED FROM INSIDE OF FRAMING WHEREAS THE OVERALL FLOOR AREA IS CALCULATED TO OUTSIDE EXTERIOR WALLS

NOTE: ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL CODES AND BYLAWS. DESIGN OF FOUNDATION AND FOOTINGS TO BE MODIFIED TO SUIT LOCAL SOIL CONDITIONS AS REQUIRED
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4	JUNE 28/22	STAIR REVISIONS

NO.	DATE	DESCRIPTION

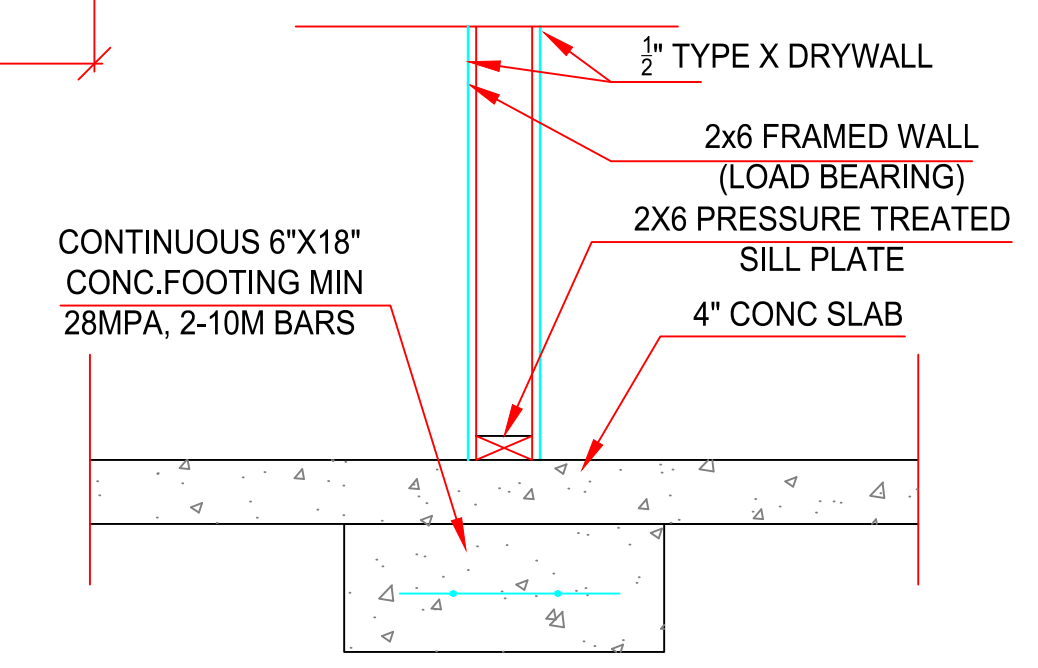


CIVIC ADDRESS
1170 19th Ave. SE Salmon Arm

PROJECT NO.
CUSTOMER

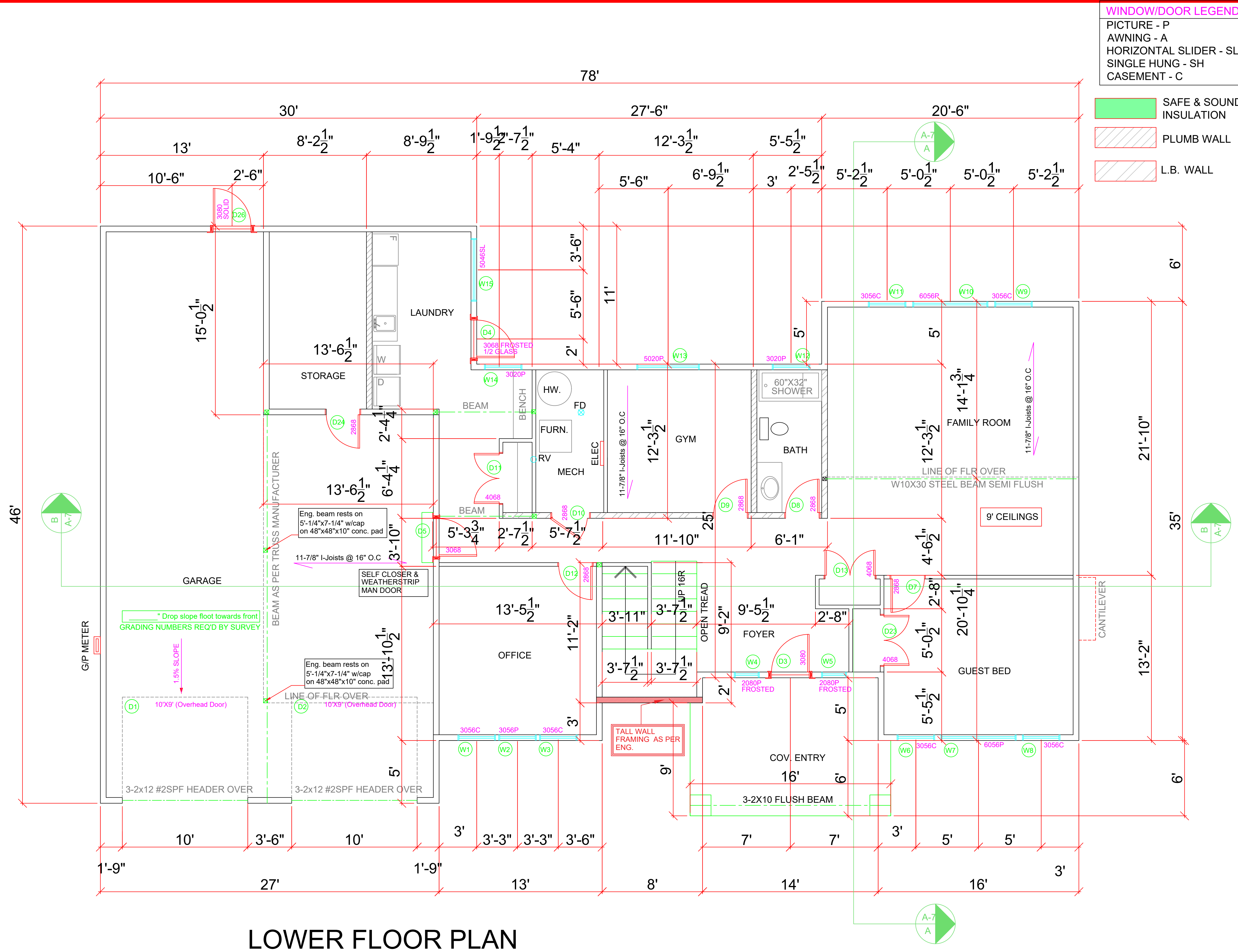
GREEN
FOUNDATION PLAN

DATE: JUNE 28/22
SCALE: 1/4"=1'-0"
DRAWN: PC
CHECKED: XX
SHEET NUMBER: **A-3**



Load Bearing Wall Scale: 1" = 1'-0"

FOUNDATION PLAN



WINDOW/DOOR LEGEND

PICTURE - P
 AWNING - A
 HORIZONTAL SLIDER - SL
 SINGLE HUNG - SH
 CASEMENT - C

SAFE & SOUND INSULATION
 PLUMB WALL
 L.B. WALL

- FLOOR NOTES**
1. FRAMED EXTERIOR WALLS INCLUDE EXTERIOR SHEATHING.
 2. ALL DIMENSIONS SHOWN ARE TO FRAMING AND DO NOT INCLUDE DRYWALL OR OTHER FINISHES
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NO.	DATE	DESCRIPTION



CIVIC ADDRESS
 1170 19th Ave. SE Salmon Arm

LOWER FLOOR PLAN

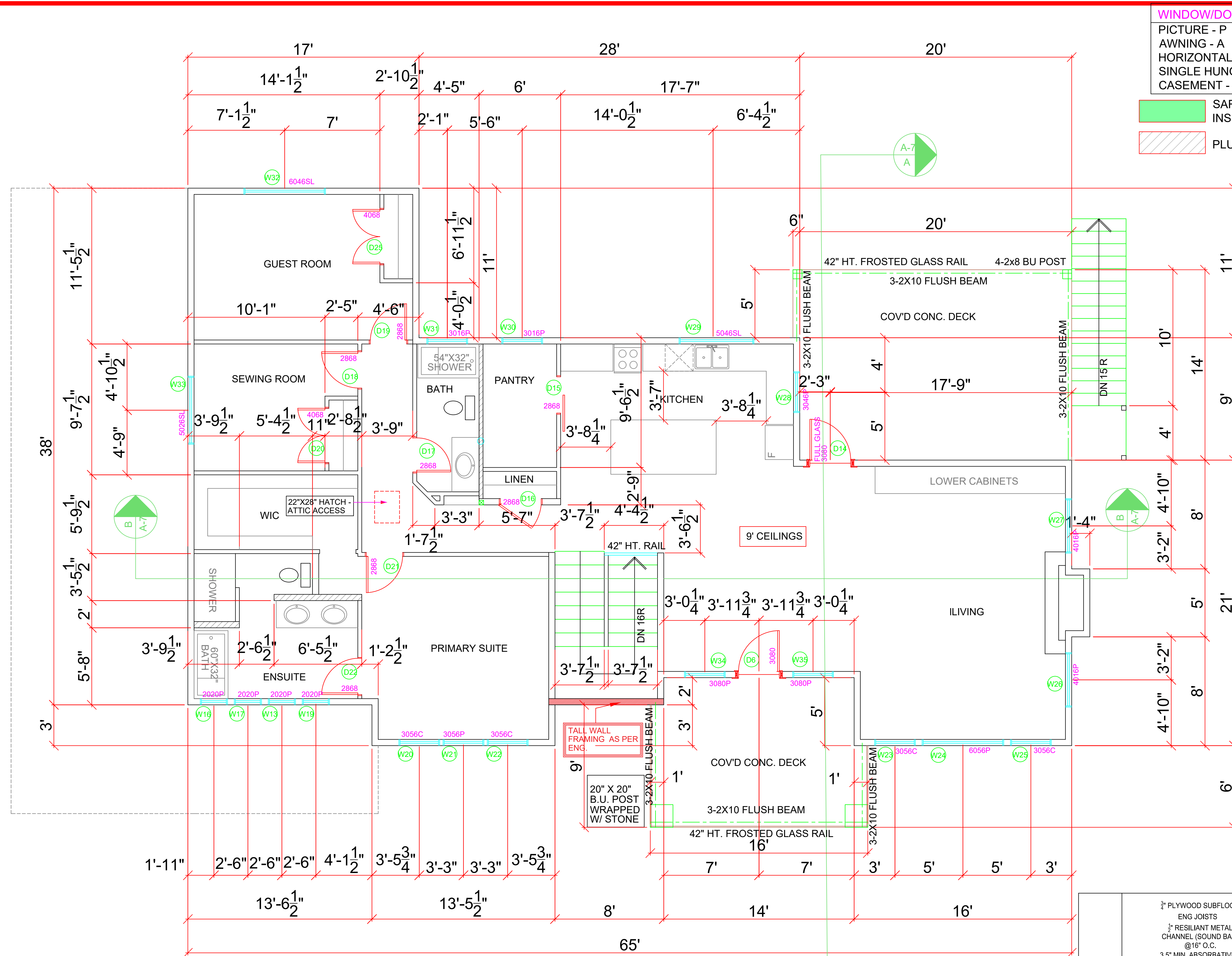
1606 SQ. FT.
 9' Ceilings

EXHAUST FAN NOTE
 FANS TO BE INSTALLED IN ALL BATHROOMS AND IN THE KITCHEN

PROJECT NO.	
CUSTOMER	GREEN
SHEET TITLE	BASEMENT PLAN
DATE	JUNE 28/22
SCALE	1/4"=1'
DRAWN	PC
CHECKED	XX
SHEET NUMBER	A-4

WALL TYPES
BASEMENT WALL (TYP.)
8" OR 10" CONC WALL 1/2" AIR SPACE 2X6 FRAMED WALL R20 INSULATION 6 MIL POLY 1/2" TYPE X DRYWALL
FIRE SEPARATION WALL (SUITE) [W3c]
1/2" DRYWALL 2x6 FRAME WALL SAFE AND SOUND INSULATION 1/2" RESILIENT METAL CHANNEL (SOUND BAR) @16" O.C. 1/2" TYPE X DRYWALL (45 MINUTE FIRE RATING)
INTERIOR WALL (SOUND) [W3c]
1/2" DRYWALL 2x4 FRAME WALL SAFE AND SOUND INSULATION 1/2" RESILIENT METAL CHANNEL (SOUND BAR) @16" O.C. 1/2" TYPE X DRYWALL (45 MINUTE FIRE RATING)
INTERIOR WALL (TYP) [W1e]
1/2" DRYWALL 2x4 FRAME WALL (2x6 FRAME WALL FOR PLUMB OR LOAD BEARING) 1/2" TYPE X DRYWALL (30 MINUTE FIRE RATING)
EXTERIOR WALL (TYP.) [EW1b]
SIDING 1/2" OSB BUILDING PAPER 2x6 FRAME WALL R22 BATT INS. 6 MIL POLY 1/2" TYPE X DRYWALL (45 MINUTE FIRE RATING)

ALL WALLS FRAMED AT 16" O.C. UNLESS OTHERWISE NOTED



UPPER FLOOR PLAN

1727 SQ. FT.
9' Ceilings

WINDOW/DOOR LEGEND	
PICTURE - P	AWNING - A
HORIZONTAL SLIDER - SL	SINGLE HUNG - SH
CASEMENT - C	
	SAFE & SOUND INSULATION
	PLUMB WALL

- FLOOR NOTES**
- FRAMED EXTERIOR WALLS INCLUDE EXTERIOR SHEATHING.
 - ALL DIMENSIONS SHOWN ARE TO FRAMING AND DO NOT INCLUDE DRYWALL OR OTHER FINISHES
 - ALL HEADERS TO BE 3-2X10 IN 2X6 WALLS AND 2-2X10 IN 2X4 WALLS UNLESS NOTED OTHERWISE
 - ALL DOORS AND WINDOWS FRAMED 4-1/2" FROM ADJACENT WALLS UNLESS NOTED OTHERWISE
 - ALL DOOR SLABS TRO MEASURE 80" IN HEIGHT UNLESS OTHERWISE NOTED
 - INDIVIDUAL ROOM AREAS ARE CALCULATED FROM INSIDE OF FRAMING WHEREAS THE OVERALL FLOOR AREA IS CALCULATED TO OUTSIDE EXTERIOR WALLS

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		STAIR REVISIONS

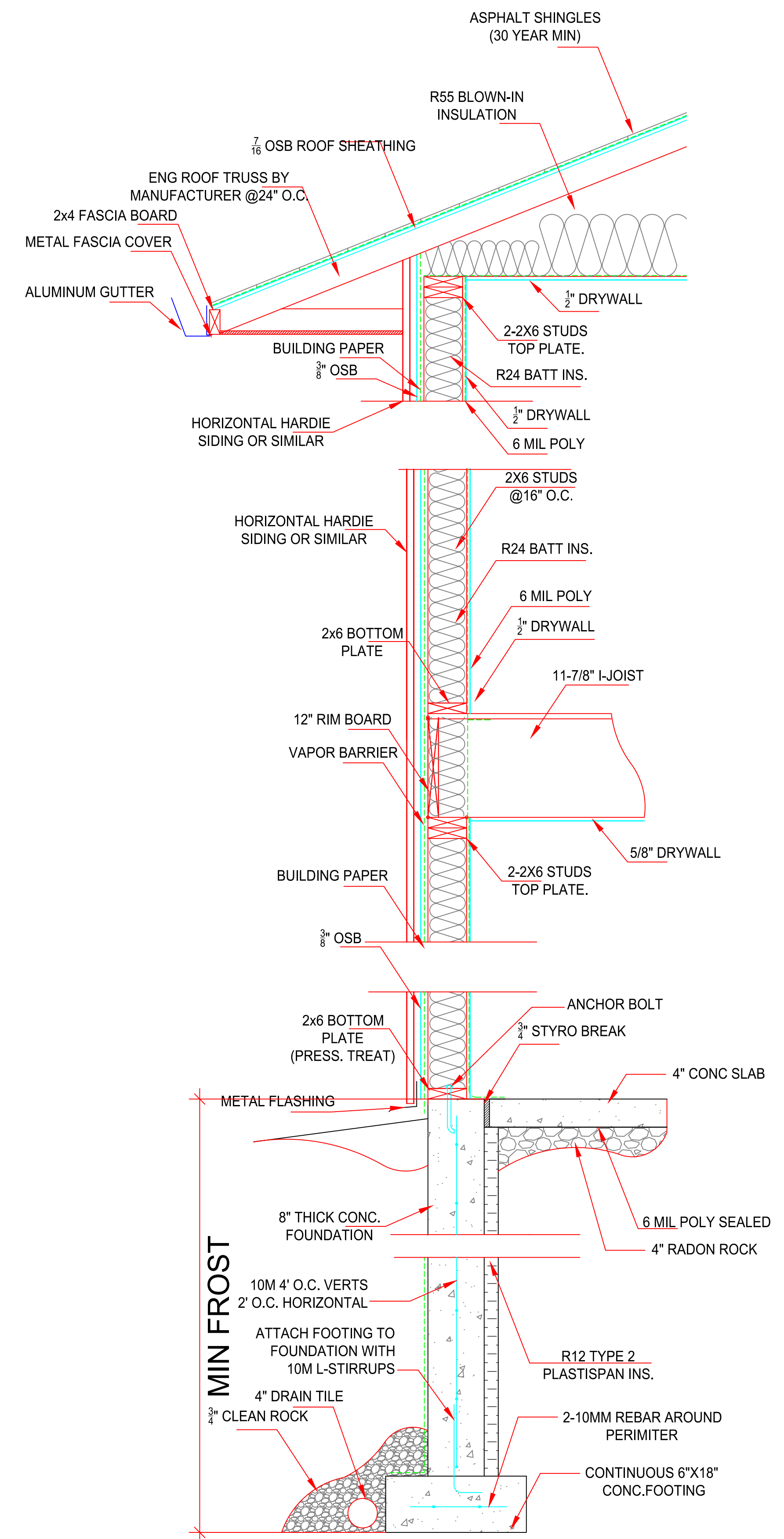
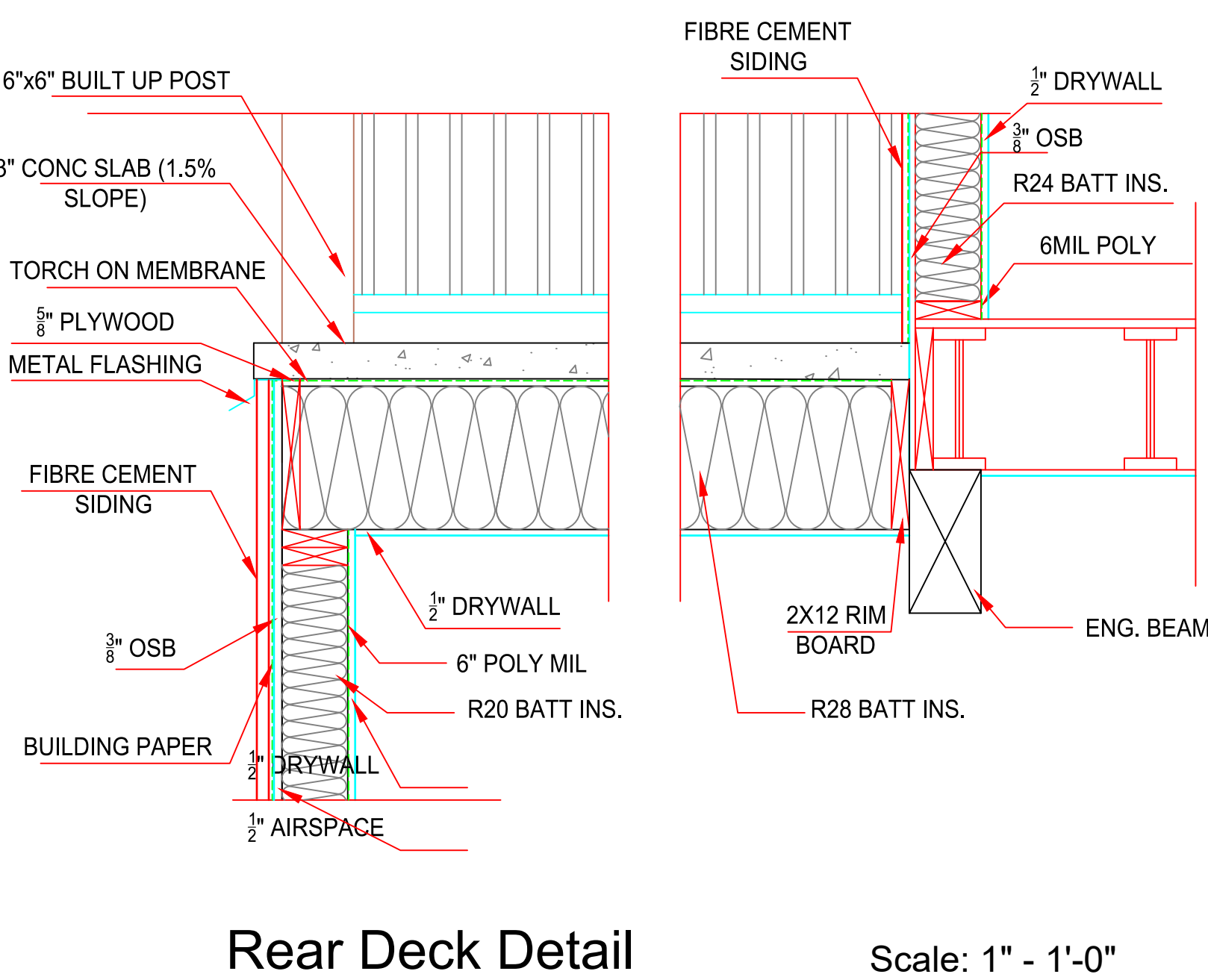
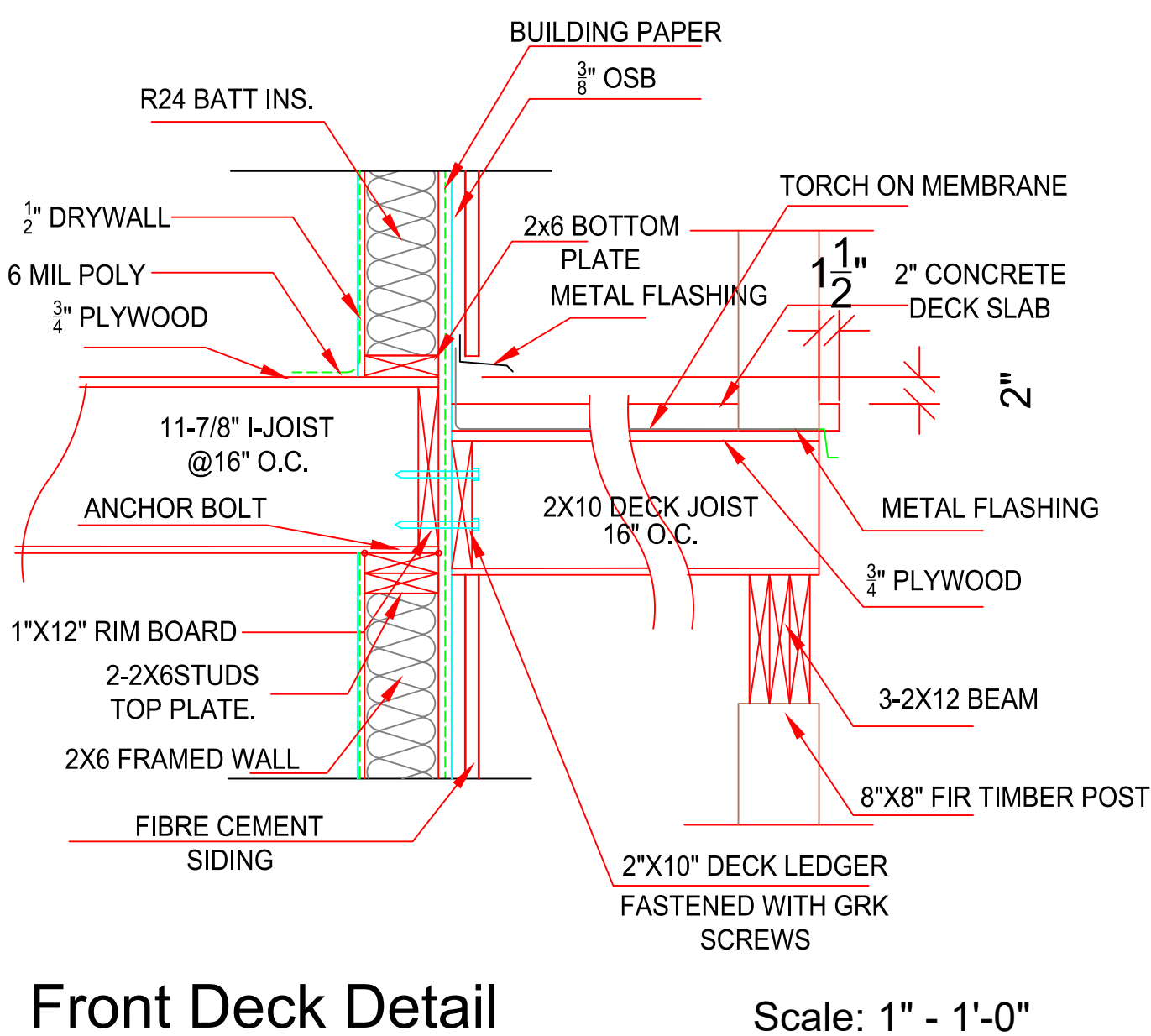
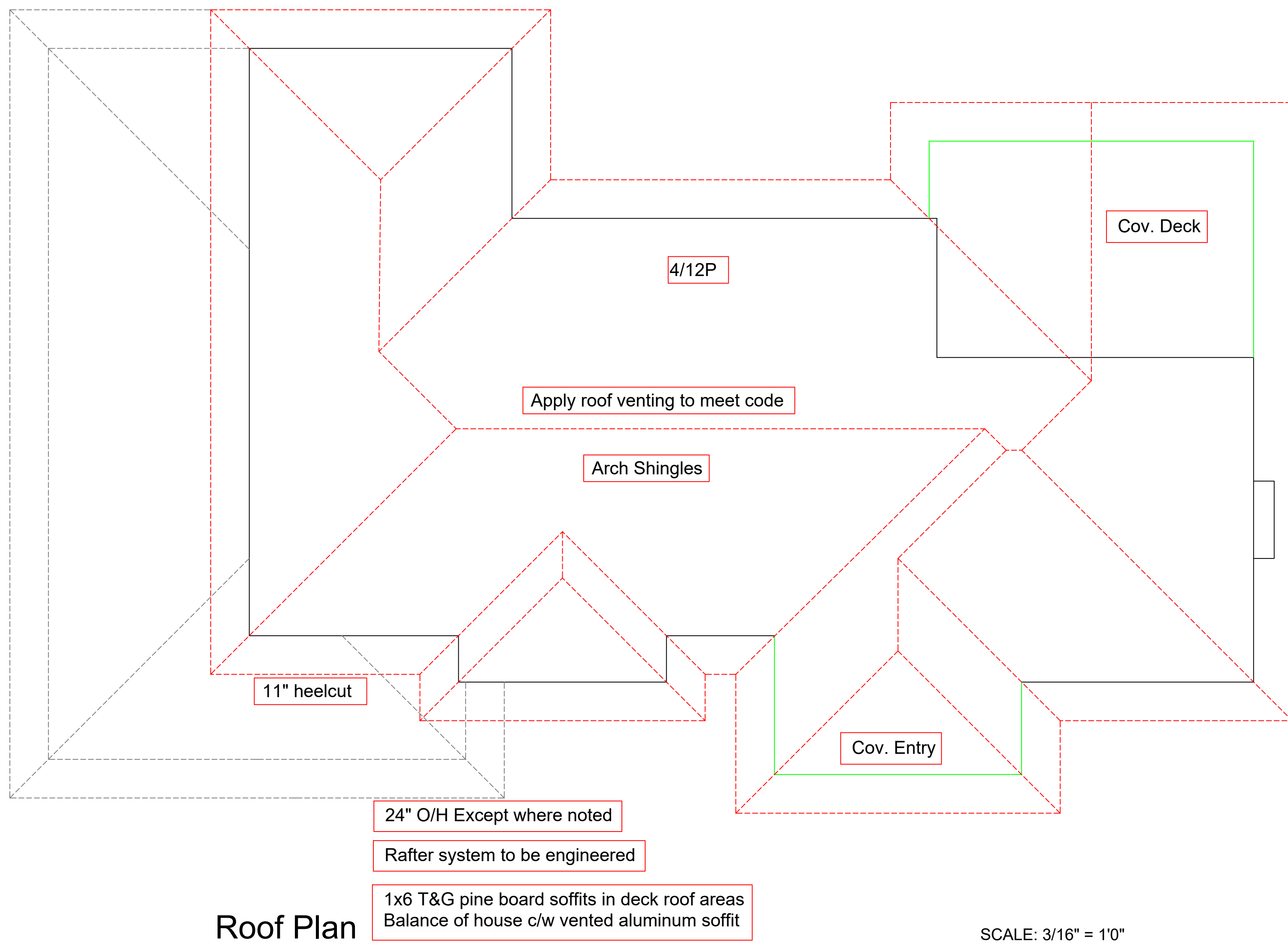
NO.	DATE	DESCRIPTION

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CEILING TYPES	<p>3/4" PLYWOOD SUBFLOOR ENG JOISTS 1/2" RESILIENT METAL CHANNEL (SOUND BAR) @16" O.C. 3.5" MIN. ABSORBATIVE MATERIAL (ROXUL) 1/2" TYPE X DRYWALL (45 MINUTE FIRE RATING)</p> <p>SUITE CEILING [F8c]</p> <p>STC 48</p>
	<p>3/4" PLYWOOD SUBFLOOR ENG JOISTS 1/2" DRYWALL (30 MINUTE FIRE RATING)</p> <p>STANDARD CEILING [F3a]</p>
	<p>3/4" PLYWOOD SUBFLOOR ENG JOISTS 2" SPRAY FOAM R28 BATT 1/2" DRYWALL (30 MINUTE FIRE RATING)</p> <p>STANDARD CEILING [F3b]</p> <p>STC 31</p>

PROJECT NO.	
CUSTOMER	GREEN
SHEET TITLE	MAIN FLOOR PLAN
DATE	JUNE 28/22
SCALE	3/16"=1'-0"
DRAWN	PC
CHECKED	XX
SHEET NUMBER	A-5



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NO. DATE DESCRIPTION



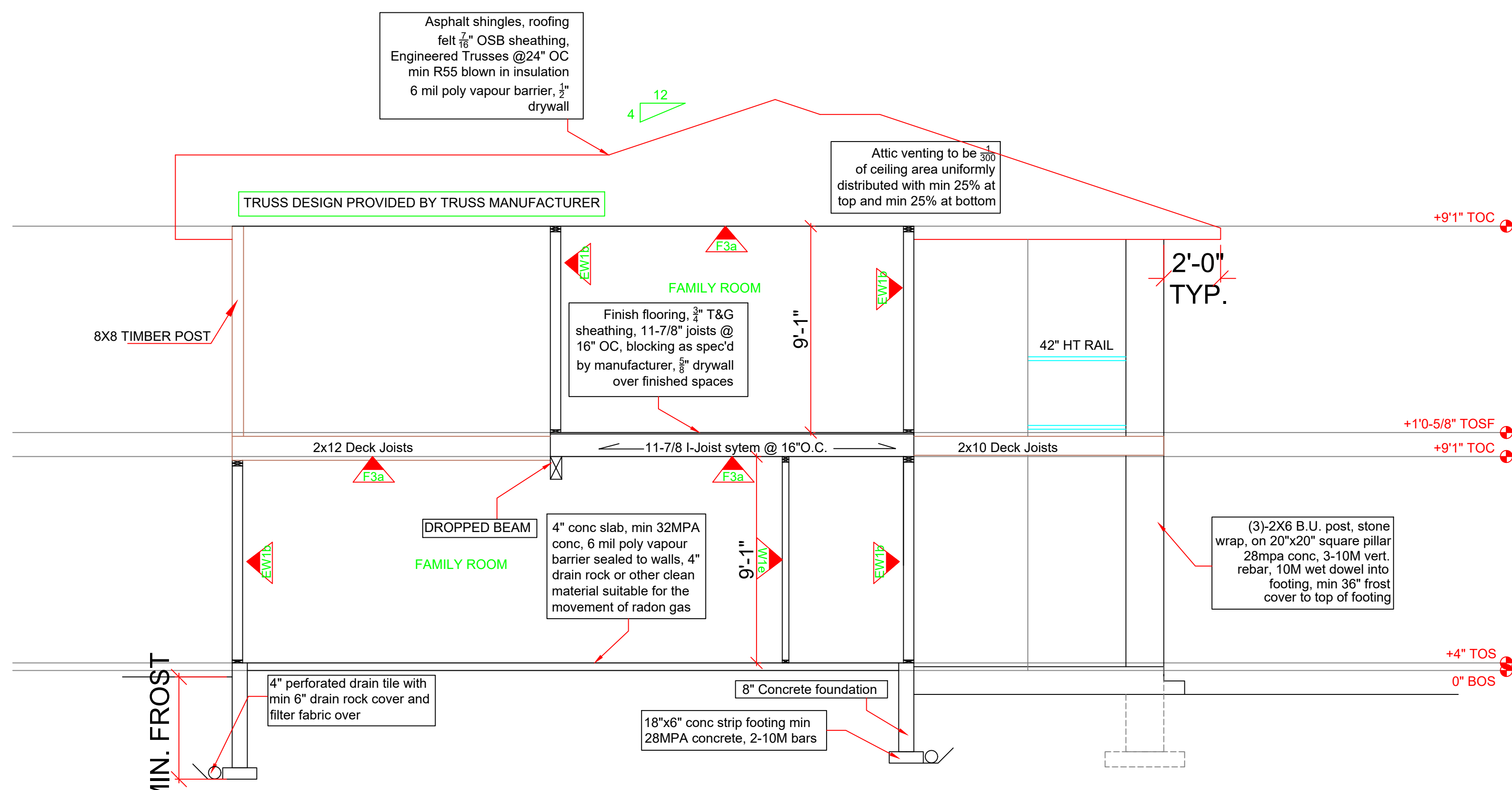
CIVIC ADDRESS
 1170 19th st. SE Salmon Arm

PROJECT NO.
 CUSTOMER
GREEN

SHEET TITLE
**ROOF PLAN/
 DETAILS**

DATE	SHEET NUMBER
JUNE 28/22	
SCALE	VARIABLES
DRAWN	PC
CHECKED	XX

A-6



CROSS SECTION - A

WINDOW SCHEDULE					
MARK		SASH OPERATION	RO WIDTH [+1/8"]	RO HEIGHT [+1/8"]	COMMENTS
W 1	3056	CASEMENT	3'0"	5'6"	
W 2	3056	PICTURE	3'0"	5'6"	
W 3	3056	CASEMENT	3'0"	5'6"	
W 4	2080	PICTURE	2'0"	8'0"	FROSTED
W 5	2080	PICTURE	2'0"	8'0"	FROSTED
W 6	3056	CASEMENT	3'0"	5'6"	
W 7	6056	PICTURE	6'0"	5'6"	
W 8	3056	CASEMENT	3'0"	5'6"	
W 9	3056	CASEMENT	3'0"	5'6"	
W 10	6056	PICTURE	6'0"	5'6"	
W 11	3056	CASEMENT	3'0"	5'6"	
W 12	3020	PICTURE	3'0"	2'0"	
W 13	5020	PICTURE	5'0"	2'0"	
W 14	3020	PICTURE	3'0"	2'0"	
W 15	5046	SLIDER	5'0"	4'6"	
W 16	2020	PICTURE	2'0"	2'0"	
W 17	2020	PICTURE	2'0"	2'0"	
W 18	2020	PICTURE	2'0"	2'0"	
W 19	2020	PICTURE	2'0"	2'0"	
W 20	3056	CASEMENT	3'0"	5'6"	
W 21	3056	PICTURE	3'0"	5'6"	
W 22	3056	CASEMENT	3'0"	5'6"	
W 23	3056	CASEMENT	3'0"	5'6"	
W 24	6056	PICTURE	6'0"	5'6"	
W 25	3056	CASEMENT	3'0"	5'6"	
W 26	4016	TRANSOM	4'0"	1'6"	
W 27	4016	TRANSOM	4'0"	1'6"	
W 28	3046	PICTURE	3'0"	4'6"	
W 29	5046	SLIDER	5'0"	4'6"	
W 30	3016	TRANSOM	3'0"	1'6"	
W 31	3016	TRANSOM	3'0"	1'6"	
W 32	6046	SLIDER	6'0"	4'6"	
W 33	5026	SLIDER	5'0"	2'6"	
W 34	3080	PICTURE	3'0"	8'0"	
W 35	3080	PICTURE	3'0"	8'0"	

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4	JUNE 28/22	STAIR REVISIONS

NO.	DATE	DESCRIPTION

REVISIONS



CIVIC ADDRESS

1170 19th st. SE Salmon Arm

PROJECT NO.

CUSTOMER

GREEN

SHEET TITLE

SECTIONS

DATE

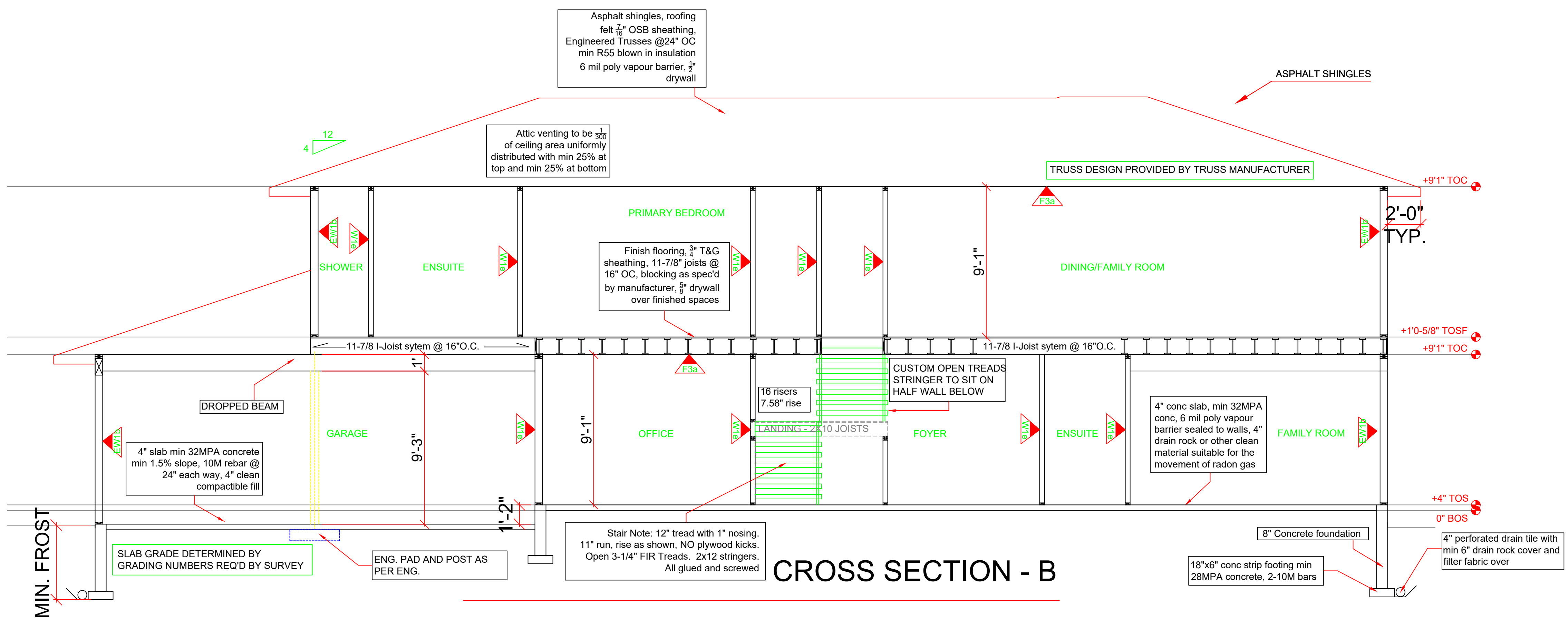
SCALE

DRAWN

CHECKED

SHEET NUMBER

A-7



CROSS SECTION - B

DOOR SCHEDULE						
MARK		DOOR OPERATION	RO WIDTH [+2"]	RO HEIGHT	SIDE LITES	LOCATION
D 1	10090	OVERHEAD				GARAGE
D 2	10090	OVERHEAD				GARAGE
D 3	3080	SWING SIMPLE				FRONT ENTRY
D 4	3080	SWING SIMPLE				REAR PATIO
D 5	3080	SWING SIMPLE				GARAGE
D 6	3080	SWING SIMPLE				COV. DECK
D 7	2868	SWING SIMPLE				GUEST BED
D 8	2868	SWING SIMPLE				BATH
D 9	2868	SWING SIMPLE				GYM
D 10	2868	SWING SIMPLE				LOWER ELEVATOR CLOSET
D 11	4068	SWING SIMPLE				OFFICE
D 12	2868	SWING SIMPLE				ENTRY CLOSET
D 13	4068	SWING BI-PART				REAR DECK
D 14	3080	SWING SIMPLE				PANTRY
D 15	2868	BARN STYLE				UPPER ELEVATOR BATH
D 16	2868	SWING SIMPLE				SWEING ROOM
D 17	2868	SWING SIMPLE				GUEST ROOM
D 18	2868	SWING SIMPLE				SWEING CLOSET
D 19	2868	SWING SIMPLE				PRIMARY
D 20	4068	SWING BI-PART				ENSUITE
D 21	2868	SWING SIMPLE				GUEST BED STORAGE
D 22	2868	SWING SIMPLE				GUEST CLOSET
D 23	4068	SWING BI-PART				REAR GARAGE ENTRY MAN DOOR
D 24	2868	SWING SIMPLE				
D 25	4068	SWING BI-PART				
D 26	3068	SWING SIMPLE				