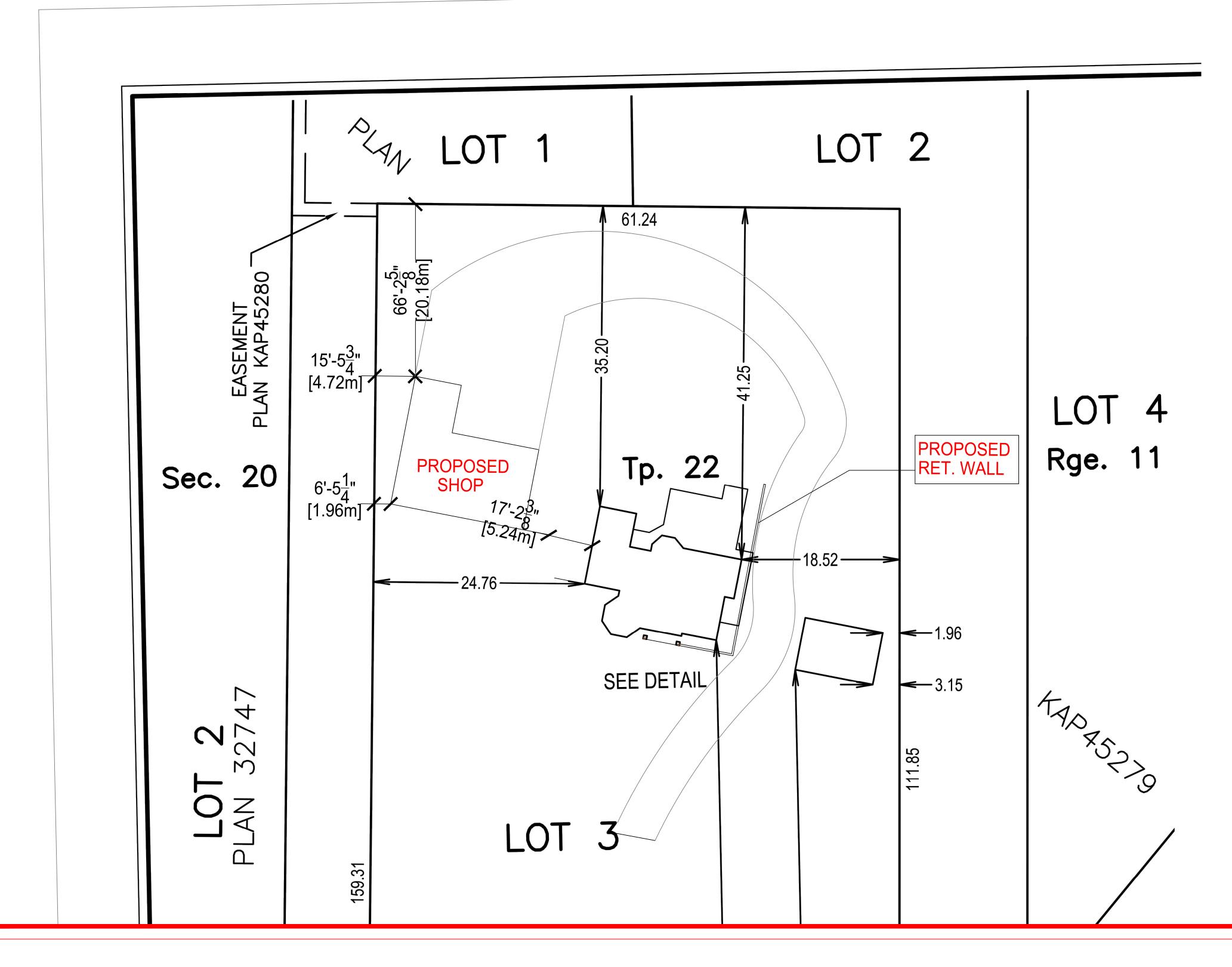
SHEET LEGEND A1 - SITE PLAN & NOTES A2 - ELEVATIONS A3 - LOWER LEVEL PLAN A4 - UPPER LEVEL PLAN A5 - FOUNDATION PLAN A6 - ROOF & DETAILS A7 - SECTIONS & WINDOW/DOOR

SCHEDULES



GENERAL NOTES

- ALL CONSTRUCTION MATERIALS & WORKMANSHIP TO BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE B.C. BUILDING CODE PLUMBING CODE, ELECTRICAL CODE, AND ALL OTHER CODES, ZONING, AND BYLAWS THAT MAY APPLY.
- 2. THE CONTRACTOR AND ALL SUB-TRADES ARE RESPONSIBLE FOR THE REVIEW OF ALL DRAWINGS AND SITE CONDITIONS PRIOR TO COMMENCING WORK OR ORDERING ANY MATERIAL, AND SHALL REPORT AND DISCREPANCIES THAT AFFECT DESIGN TO WOOD CREEK IMMEDIATELY
- 3. ALL FRAMING MATERIAL TO BE S.P.F. #2 OR BETTER WITH THE EXCEPTION OF WALL STUDS
- 4. CONCRETE FOOTINGS AND WALLS TO BE A MINIMUM 28MPA @28 DAYS. FLOOR SLABS AND SIDEWALKS TO BE MINIMUM 32MPA @ 28 DAYS.
- 5. ALL CONCRETE FOOTINGS TO BE PLACED ON ORIGINAL UNDISTURBED GROUND, FREE OF ALL ORGANIC, FROZEN OR FROSTY MATERIAL.
- 6. DAMP PROOF FOUNDATION WALLS BELOW GRADE WITH 2 COATS OF BITUMINOUS MATERIAL.
- 7. 6 MIL. ULTRAVIOLET RESISTANT POLY VAPOUR BARRIER ON A.) 4" OF GRANULAR COMPACTABLE FILL UNDER EXTERIOR OR GARAGE SLABS. OR B.) 4" OF $\frac{3}{4}$ " DRAIN ROCK OR OTHER MATERIAL SUITABLE FOR MOVEMENT OF RADON GAS UNDER INTERIOR SLABS.
- 8. ALL FOUNDATION DRAINS TO BE 4" PERFORATED P.V.C. WITH FILTER CLOTH AND MINIMUM 6" DRAIN ROCK, DRAINED TO MUNICPAL SERVICES ACCORDING TO LOCAL STANDARDS.
- 9. GRADE TO BE SLOPED AWAY FROM BUILDING AT ALL LOCATIONS ADJACENT TO BUILDING.
- 10. ALL TRUSSES I-JOISTS, BEAMS OR OTHER STRUCTURAL MEMBERS NOT COVERED IN B.C. BUILDING CODE TO BE DESIGNED AND ENGINEERED BY TRUSS MANUFACTURER OR STRUCTURAL ENGINEER PRIOR TO ANY FABRICATION.
- 11. CONTRACTOR TO VERIFY ALL PROPERTY AND FOUNDATION LINES WITH A LEGAL LAND SURVEYOR PRIOR TO PLACING FOOTINGS OR RUNNING SERVICES WITHIN BUILDING ENVELOPE.
- 12. ALL ROOF SPACES TO BE VENTILATED WITH SOFFIT AND ROOF VENTS WITH A MINIMUM DISTRIBUTION AREA OF 1/300. A MINIMUM OF 25% OF VENTS TO BE LOCATED AT ROOF. MINIMUM 25% TO BE LOCATED AT SOFFIT.
- 13. DOOR FRAMES AT ENTRANCES AND EXTERIOR SPACES TO DWELLING UNITS SHALL BE SOLIDLY BLOCKED BETWEEN DOOR FRAME AND STUDS AT THE HEIGHT OF THE DEADBOLT TO RESIST SPREADING.
- 14. ALL GLASS IN DOORS, SIDELITES OR WINDOWS WITHIN 12" OF FINISHED FLOOR TO BE CONSTRUCTED OF SAFETY GLASS.
- 15. RAIN WATER LEADERS NOT SHOWN ON PLAN . CONTRACTOR TO DETERMINE EXACT LOCATION SUITABLE TO SITE AND MUNICIPAL DRAINAGE.
- 16. ELECTRICAL LOCATIONS TO BE DETERMINED BY ELECTRICAL CONTRACTOR WITH THE APPROVAL OF THE HOME OWNER OR GENERAL CONTRACTOR AND IN ACCORDANCE WITH CURRENT ELECTRICAL CODE.
- 17. APPROVED SMOKE ALARMS TO BE INSTALLED WITH LOCATION APPROVED BY APPROPRIATE LOCAL MUNICIPALITY.
- 18. REFER TO LAOUTS AND SPECIFICATIONS FROM STRUCTURAL ENGINEER, FLOOR JOIST SUPPLIER, AND ROOF TRUSS MANUFACTURER FOR BEAM, POST, FOOTING LOCATIONS AND SIZES. ENSURE PROPER BEARING IS PROVIDED FOR ALL POINT LOADS. ANY STRUCTURAL SPECIFICATIONS SHOWN ON WOOD CREEK PLANS ARE ESTIMATES ONLY AND MAY NOT ACCURATELY REPRESENT LOADING AND SIZING, OR MAY NOT INCLUDE POINT LOADS OR STRUCTURAL MEMBERS DESIGNED BY OTHERS.

NOTE: ALL CONSTRUCTION SHALL
CONFORM TO ALL APPLICABLE LOCAL
CODES AND BYLAWS. DESIGN OF
FOUNDATION AND FOOTINGS TO BE
MODIFIED TO SUIT LOCAL SOIL
CONDITIONS AS REQUIRED
DO NOT SCALE DRAWINGS. WRITTEN

DO NOT SCALE DRAWINGS. WRITTEN
DIMENSIONS SHALL TAKE PRECEDENCE.
THIS DRAWING IS THE PROPERTY OF
WOOD CREEK CONSTRUCTION AND MAY
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WHICH IT IS LOANED BY THE COMPANY

REV.#	DATE	REVISION
NO.	DATE	DESCRIPTION
REVISIONS		



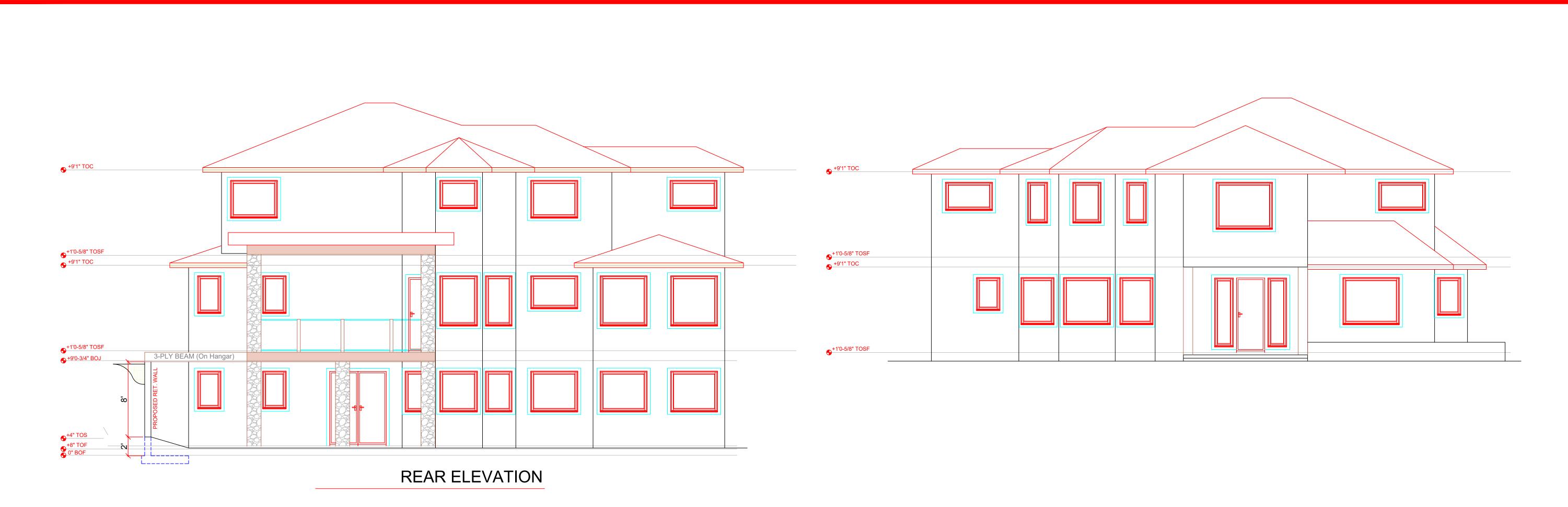
LEGAL DESCRIPTION

829 Armentiers Rd

DOWNER

SITE PLAN &
GENERAL
NOTES

DATE FEB 18/22	SHEET NUMBER
SCALE 3/32"=1'	Λ -
DRAWN PC	/ \-
CHECKED	1



NOTE: ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL CODES AND BYLAWS. DESIGN OF FOUNDATION AND FOOTINGS TO BE MODIFIED TO SUIT LOCAL SOIL CONDITIONS AS REQUIRED

DO NOT SCALE DRAWINGS. WRITTEN
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REV.#	DATE	REVISION	
1	APR 5/21	LAUNDRY/POWDER ROOM	
2	APR 29/21	STAIRS, RET WALL, WINDOWS	
3	MAY 10/21	PATIO DOOR, WINDOWS	
4	MAY 27/21	DROP GARAGE, OH DOORS	
5	JUNE 3/21	PAD SIZE CHANGE BELOW DECK PILL	
6	JUNE 7/21	WINDOW/DOOR SCHED. / DOOR BUCK IN FOUNDATION WIDENED BY 3"	
7	SEPT 8/21	SUITE WALL - LOAD BEARING	
NO.	DATE	DESCRIPTION	
REVIS		l	

Wood Creek
Construction Ltd.

-Building with Confidence-

LEGAL DESCRIPTION

829 Armentiers Rd

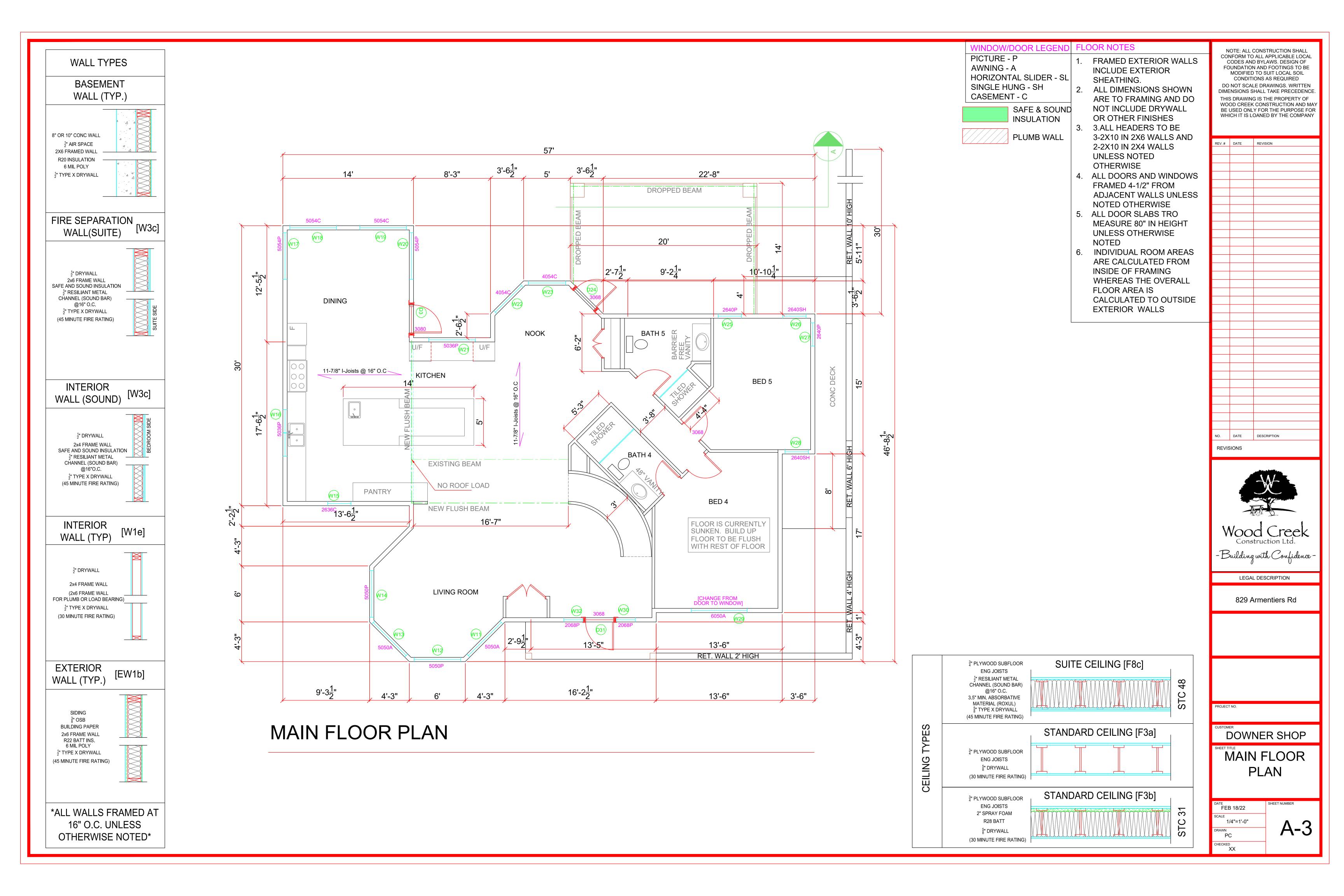
PROJECT N

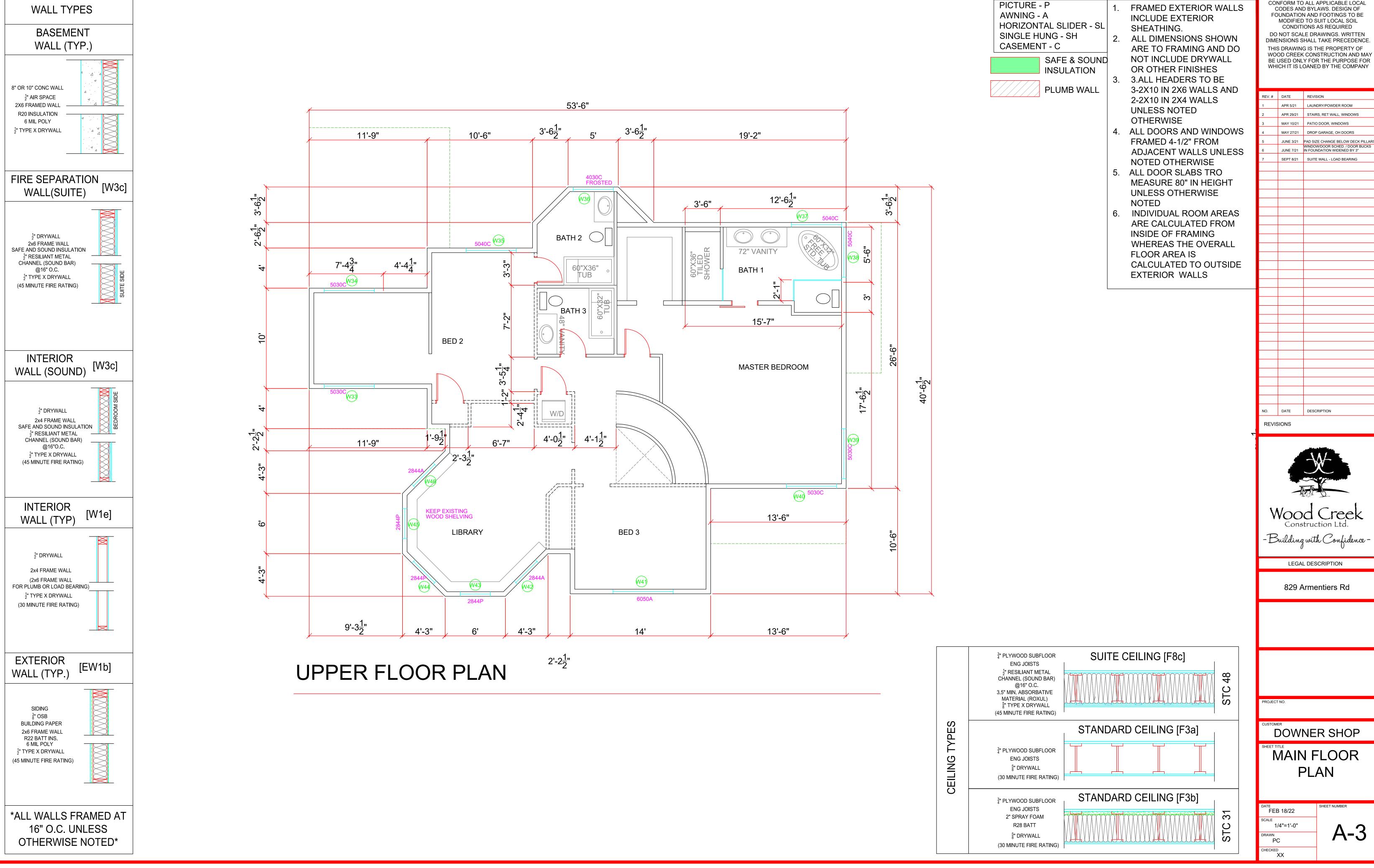
CUSTOMER DOWNER

EET TITLE

ELEVATIONS

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scale 3/16"=1'	Λ
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LOOR NOTES

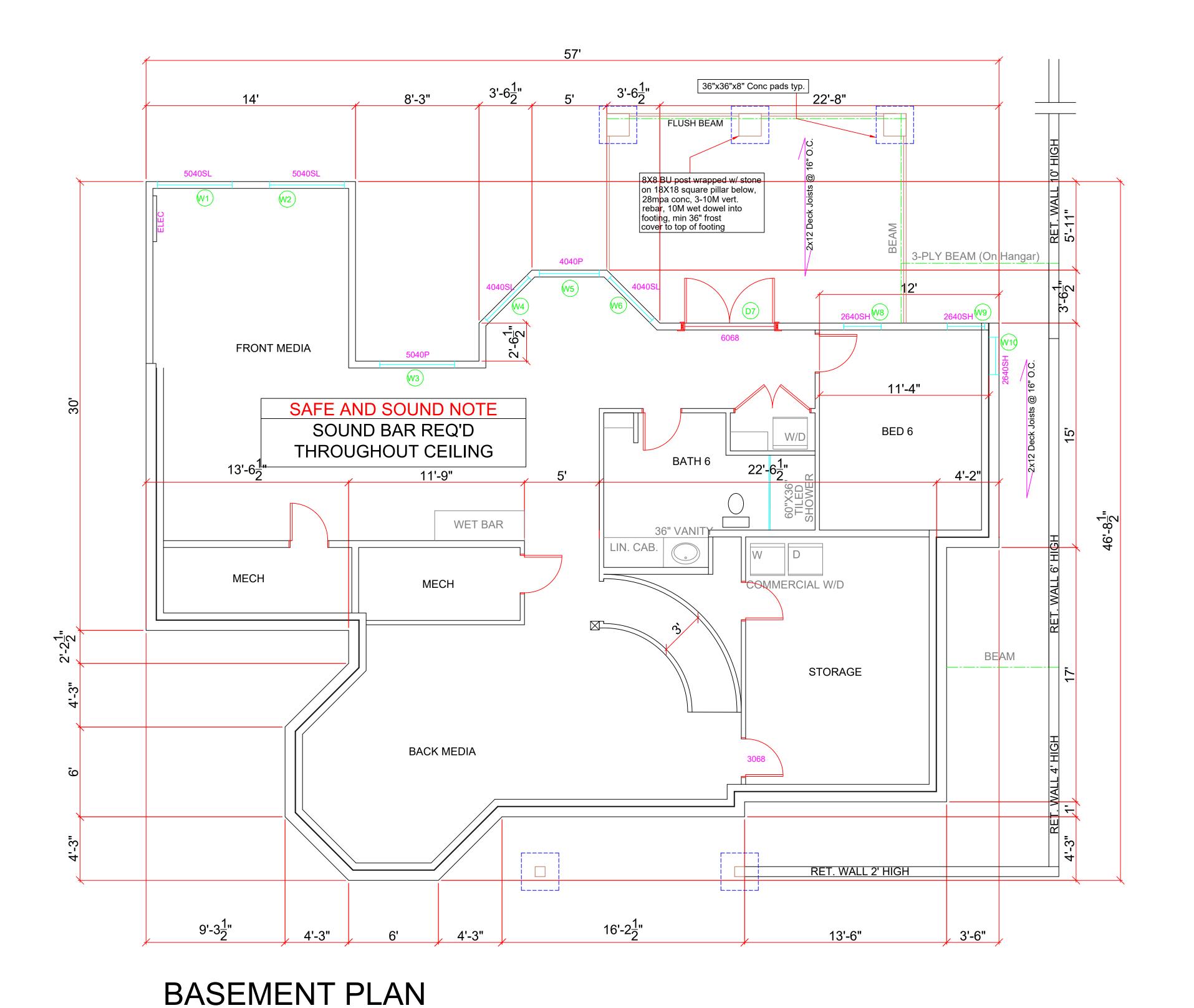
CONFORM TO ALL APPLICABLE LOCAL

NOTE: ALL CONSTRUCTION SHALL

APR 29/21	STAIRS, RET WALL, WINDOWS
MAY 10/21	PATIO DOOR, WINDOWS
MAY 27/21	DROP GARAGE, OH DOORS
	PAD SIZE CHANGE BELOW DECK PILLARS
	WINDOW/DOOR SCHED. / DOOR BUCKS IN FOUNDATION WIDENED BY 3"
SEPT 8/21	SUITE WALL - LOAD BEARING
	MAY 10/21 MAY 27/21 JUNE 3/21 JUNE 7/21







PICTURE - P AWNING - A HORIZONTAL SLIDER - SL SINGLE HUNG - SH CASEMENT - C

SAFE & SOUND INSULATION PLUMB WALL

L.B. WALL

LOOR NOTES

FRAMED EXTERIOR WALLS DOES NOT INCLUDE EXTERIOR SHEATHING.

2. ALL DIMENSIONS SHOWN ARE TO FRAMING AND DO NOT INCLUDE DRYWALL OR OTHER FINISHES

3.ALL HEADERS TO BE 3-2X10 IN 2X6 WALLS AND 2-2X10 IN 2X4 WALLS **UNLESS NOTED** OTHERWISE

4. ALL DOORS AND WINDOWS FRAMED 4-1/2" FROM ADJACENT WALLS UNLESS NOTED OTHERWISE

5. ALL DOOR SLABS TRO MEASURE 80" IN HEIGHT **UNLESS OTHERWISE** NOTED

6. INDIVIDUAL ROOM AREAS ARE CALCULATED FROM INSIDE OF FRAMING WHEREAS THE OVERALL FLOOR AREA IS CALCULATED TO OUTSIDE EXTERIOR WALLS

CONFORM TO ALL APPLICABLE LOCAL CODES AND BYLAWS. DESIGN OF FOUNDATION AND FOOTINGS TO BE MODIFIED TO SUIT LOCAL SOIL CONDITIONS AS REQUIRED

REV. # DATE REVISION

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APR 5/21 LAUNDRY/POWDER ROOM

NOTE: ALL CONSTRUCTION SHALL

2	APR 29/21	STAIRS, RET WALL, WINDOWS
3	MAY 10/21	PATIO DOOR, WINDOWS
4	MAY 27/21	DROP GARAGE, OH DOORS
5	JUNE 3/21	PAD SIZE CHANGE BELOW DECK PILLAF
6	JUNE 7/21	WINDOW/DOOR SCHED. / DOOR BUCKS IN FOUNDATION WIDENED BY 3"
7	SEPT 8/21	SUITE WALL - LOAD BEARING
NO.	DATE	DESCRIPTION
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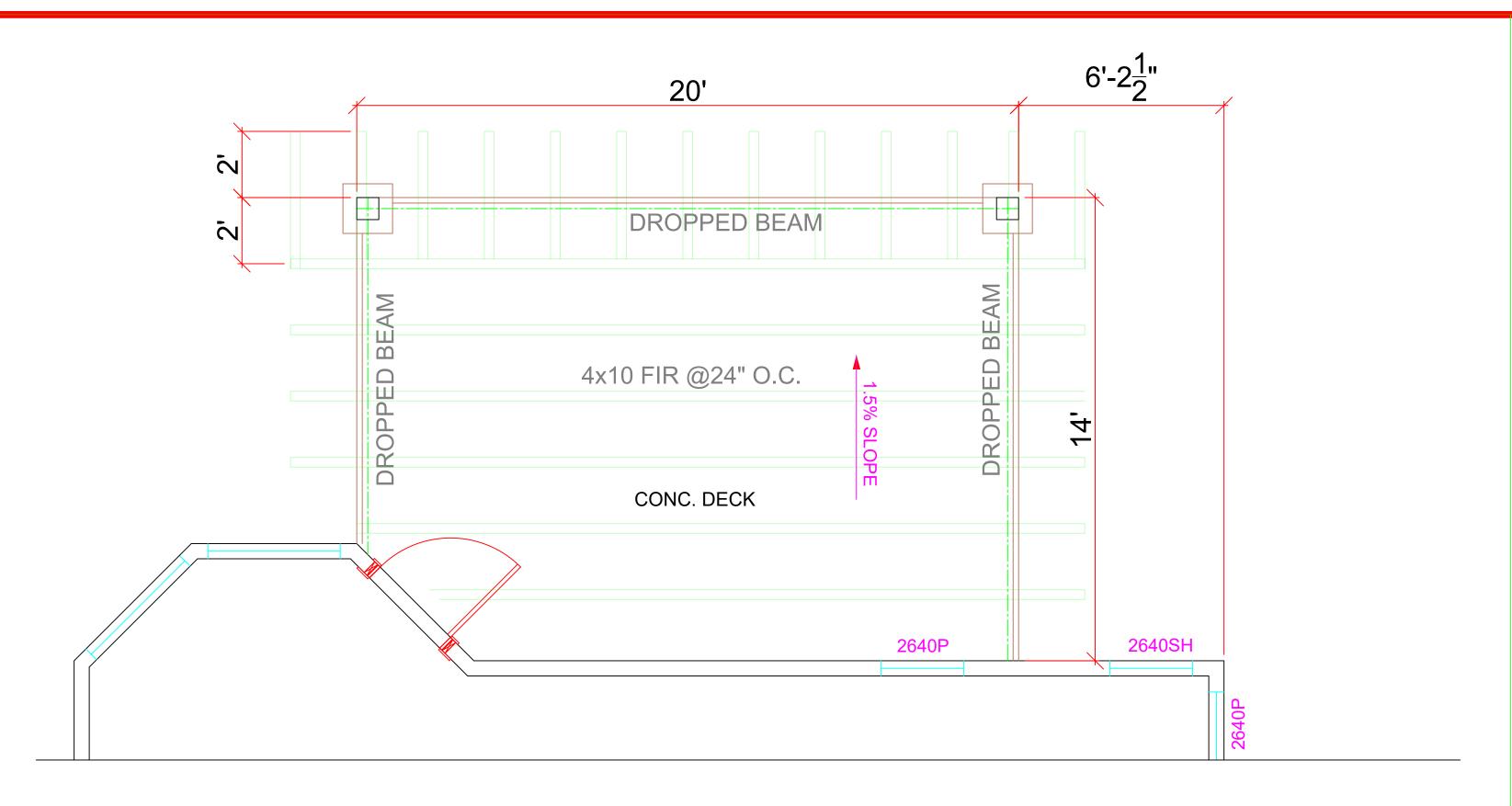


REVISIONS

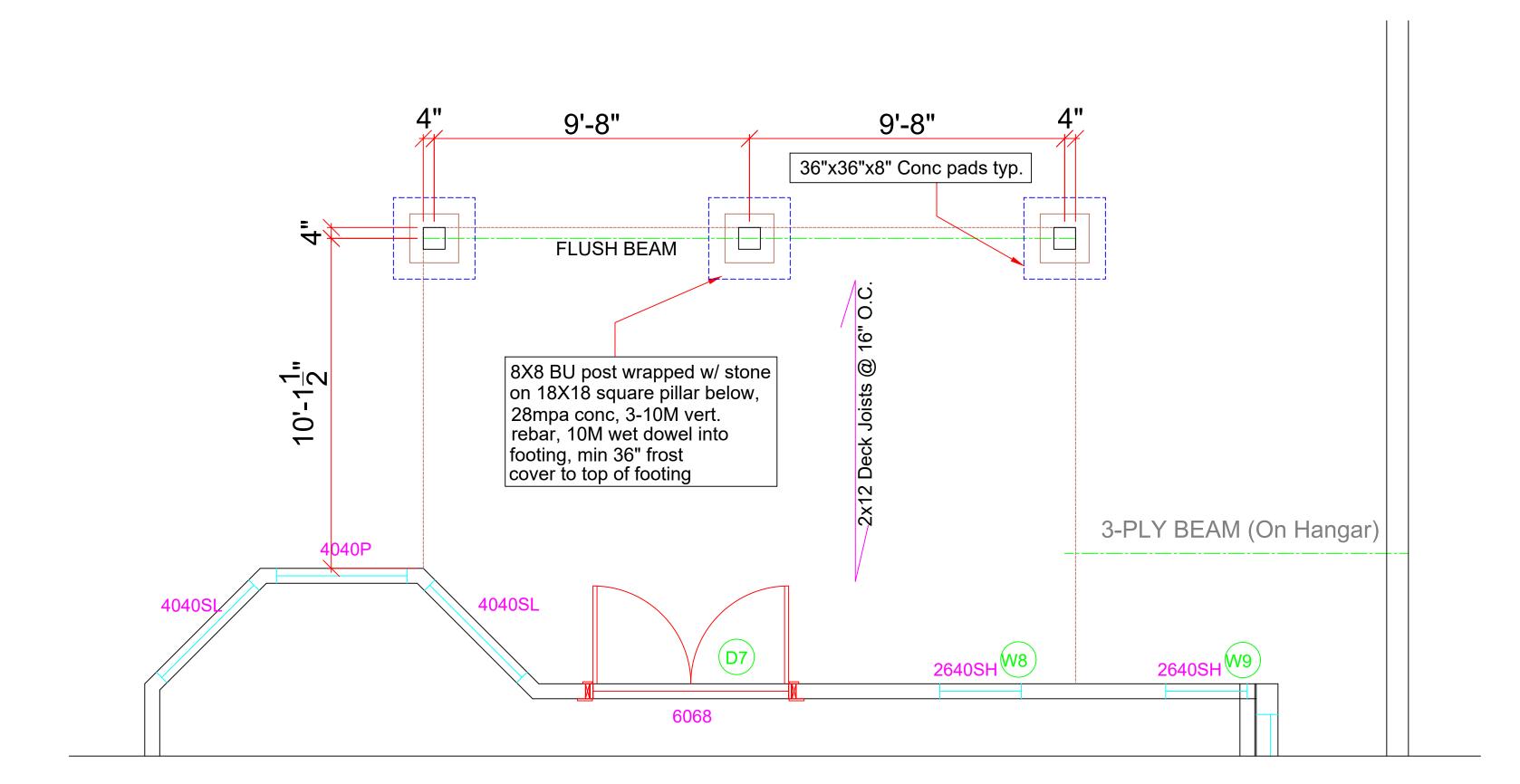
LEGAL DESCRIPTION

LOWER FLOOR **PLAN**

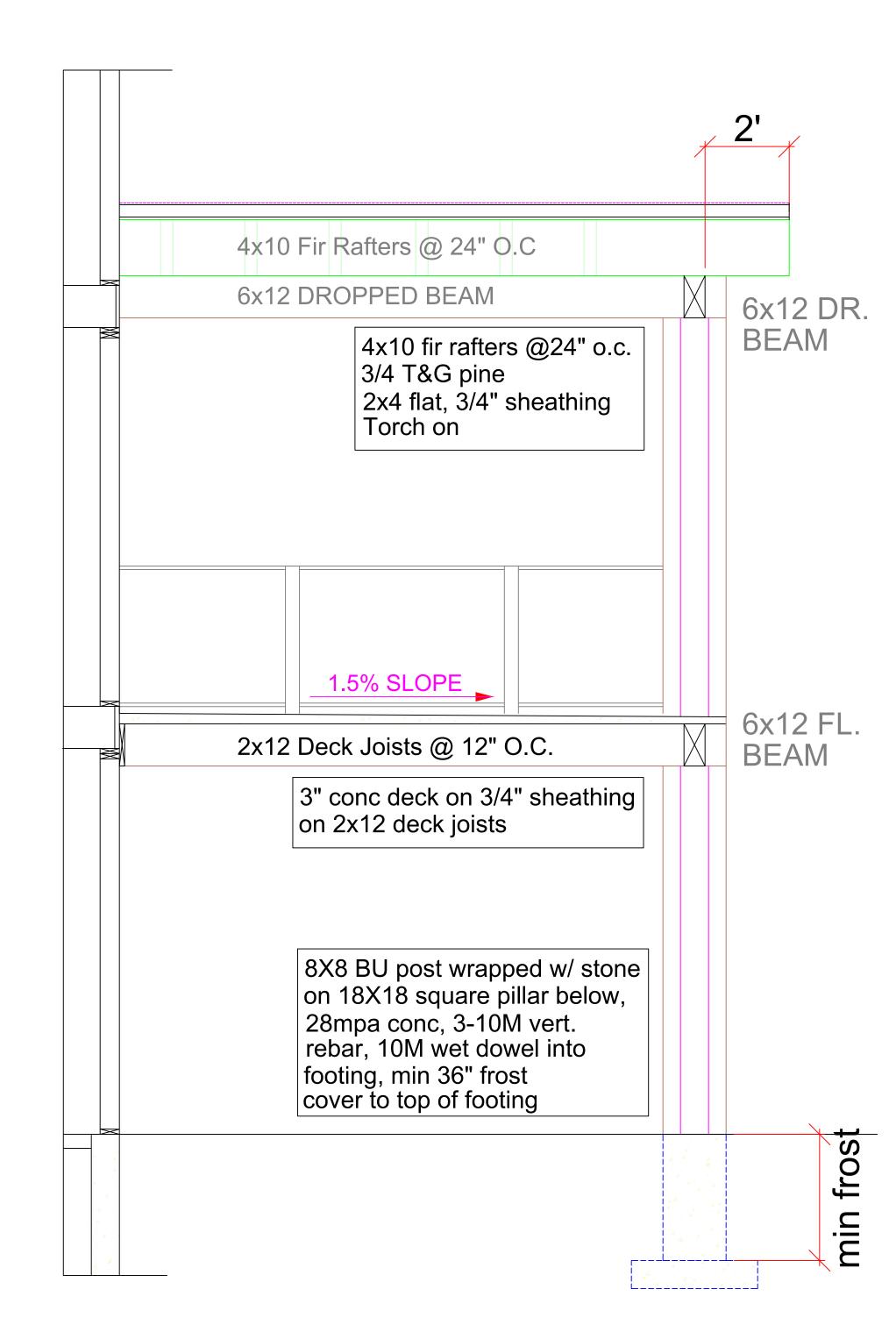
DATE FEB 18/22	SHEET NUMBER
SCALE 1/4"=1'	Λ
DRAWN PC	A-2



MAIN FLOOR DECK



LOWER FLOOR COV. PATIO



SECTION A

FOUNDATION AND FOOTINGS TO BE MODIFIED TO SUIT LOCAL SOIL CONDITIONS AS REQUIRED DO NOT SCALE DRAWINGS. WRITTEI DIMENSIONS SHALL TAKE PRECEDENCE Wood Creek
Construction Ltd. -Building with Confidence -LEGAL DESCRIPTION 829 Armentiers Rd DOWNER SHOP DECK **DETAILS** DATE FEB 18/22

VARIES

A-6

NOTE: ALL CONSTRUCTION SHALL

CODES AND BYLAWS. DESIGN OF