

NOTE: ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL CODES AND BYLAWS. DESIGN OF FOUNDATION AND FOOTINGS TO BE MODIFIED TO SUIT LOCAL SOIL CONDITIONS AS REQUIRED.
DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE. THIS DRAWING IS THE PROPERTY OF WOOD CREEK CONSTRUCTION AND MAY BE USED ONLY FOR THE PURPOSE FOR WHICH IT IS LOANED BY THE COMPANY

1	NOV 12/20	TRANSOM WINDOWS ADDED TO BEDROOM 1 & MASTER BEDROOM
2	NOV 26/20	ENG. DONE, PADS REVISED
3	JAN 8/21	CLIENT CHANGES
4	JAN 27/21	GARAGE PAD/POST/BEAM REVISED
5	JAN 29/21	WINDOW CHANGES
6	AUG 3/21	RE-DESIGN
7	SEPT 13/21	FOYER EXPANDED STAIR SECTION
8	NOV 1/21	PLAN CHECK REVISIONS
9	DEC 2/21	ENGINEERING CHANGES
10	DEC 3/21	SUITE REMOVED
11	DEC 10/21	ENG. REVISIONS, SIDE WINDOWS IN DINING AND KITCHENETTE
12	DEC 16/21	PERMIT NOTES ADDED
13	JAN 10/22	SUITE OPTION
14	JAN 21/22	WR. 16, 18 CHANGED, GARAGE HEADER
15	JAN 24/22	WINDOWS/DOORS CHANGE, GAS FP ADDED TO UPPER FLOOR
16	JAN 31/22	BATHROOMS REVISED
17	FEB 1/22	BEAMS/OVERHANGS FIXED
18	FEB 3/22	LEFT ELEVATION OVERHANG REMOVED

NO.	DATE	DESCRIPTION
REVISIONS		



CIVIC ADDRESS
1020 - 17 AVE SE

PROJECT NO.
CUSTOMER
HANSON

SHEET TITLE
SITE PLAN & GENERAL NOTES

DATE FEB 3/22	SHEET NUMBER A-1
SCALE 3/32"=1"	
DRAWN PC	
CHECKED XX	

GENERAL NOTES

1. ALL CONSTRUCTION MATERIALS & WORKMANSHIP TO BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE B.C. BUILDING CODE PLUMBING CODE, ELECTRICAL CODE, AND ALL OTHER CODES, ZONING, AND BYLAWS THAT MAY APPLY.
2. THE CONTRACTOR AND ALL SUB-TRADES ARE RESPONSIBLE FOR THE REVIEW OF ALL DRAWINGS AND SITE CONDITIONS PRIOR TO COMMENCING WORK OR ORDERING ANY MATERIAL, AND SHALL REPORT AND DISCREPANCIES THAT AFFECT DESIGN TO WOOD CREEK IMMEDIATELY
3. ALL FRAMING MATERIAL TO BE S.P.F. #2 OR BETTER WITH THE EXCEPTION OF WALL STUDS
4. CONCRETE FOOTINGS AND WALLS TO BE A MINIMUM 28MPA @28 DAYS. FLOOR SLABS AND SIDEWALKS TO BE MINIMUM 32MPA @ 28 DAYS.
5. ALL CONCRETE FOOTINGS TO BE PLACED ON ORIGINAL UNDISTURBED GROUND, FREE OF ALL ORGANIC, FROZEN OR FROSTY MATERIAL.
6. DAMP PROOF FOUNDATION WALLS BELOW GRADE WITH 2 COATS OF BITUMINOUS MATERIAL.
7. 6 MIL. ULTRAVIOLET RESISTANT POLY VAPOUR BARRIER ON A.) 4" OF GRANULAR COMPACTABLE FILL UNDER EXTERIOR OR GARAGE SLABS. OR B.) 4" OF 3/4" DRAIN ROCK OR OTHER MATERIAL SUITABLE FOR MOVEMENT OF RADON GAS UNDER INTERIOR SLABS.
8. ALL FOUNDATION DRAINS TO BE 4" PERFORATED P.V.C. WITH FILTER CLOTH AND MINIMUM 6" DRAIN ROCK, DRAINED TO MUNICIPAL SERVICES ACCORDING TO LOCAL STANDARDS.
9. GRADE TO BE SLOPED AWAY FROM BUILDING AT ALL LOCATIONS ADJACENT TO BUILDING.
10. ALL TRUSSES I-JOISTS, BEAMS OR OTHER STRUCTURAL MEMBERS NOT COVERED IN B.C. BUILDING CODE TO BE DESIGNED AND ENGINEERED BY TRUSS MANUFACTURER OR STRUCTURAL ENGINEER PRIOR TO ANY FABRICATION.
11. CONTRACTOR TO VERIFY ALL PROPERTY AND FOUNDATION LINES WITH A LEGAL LAND SURVEYOR PRIOR TO PLACING FOOTINGS OR RUNNING SERVICES WITHIN BUILDING ENVELOPE.
12. ALL ROOF SPACES TO BE VENTILATED WITH SOFFIT AND ROOF VENTS WITH A MINIMUM DISTRIBUTION AREA OF 1/300. A MINIMUM OF 25% OF VENTS TO BE LOCATED AT ROOF. MINIMUM 25% TO BE LOCATED AT SOFFIT.
13. DOOR FRAMES AT ENTRANCES AND EXTERIOR SPACES TO DWELLING UNITS SHALL BE SOLIDLY BLOCKED BETWEEN DOOR FRAME AND STUDS AT THE HEIGHT OF THE DEADBOLT TO RESIST SPREADING.
14. ALL GLASS IN DOORS, SIDELITES OR WINDOWS WITHIN 12" OF FINISHED FLOOR TO BE CONSTRUCTED OF SAFETY GLASS.
15. RAIN WATER LEADERS NOT SHOWN ON PLAN . CONTRACTOR TO DETERMINE EXACT LOCATION SUITABLE TO SITE AND MUNICIPAL DRAINAGE.
16. ELECTRICAL LOCATIONS TO BE DETERMINED BY ELECTRICAL CONTRACTOR WITH THE APPROVAL OF THE HOME OWNER OR GENERAL CONTRACTOR AND IN ACCORDANCE WITH CURRENT ELECTRICAL CODE.
17. APPROVED SMOKE ALARMS TO BE INSTALLED WITH LOCATION APPROVED BY APPROPRIATE LOCAL MUNICIPALITY.
18. REFER TO LAOUTS AND SPECIFICATIONS FROM STRUCTURAL ENGINEER, FLOOR JOIST SUPPLIER, AND ROOF TRUSS MANUFACTURER FOR BEAM, POST, FOOTING LOCATIONS AND SIZES. ENSURE PROPER BEARING IS PROVIDED FOR ALL POINT LOADS. ANY STRUCTURAL SPECIFICATIONS SHOWN ON WOOD CREEK PLANS ARE ESTIMATES ONLY AND MAY NOT ACCURATELY REPRESENT LOADING AND SIZING, OR MAY NOT INCLUDE POINT LOADS OR STRUCTURAL MEMBERS DESIGNED BY OTHERS.

SHEET LEGEND

- A1 - SITE PLAN & NOTES
- A2 - ELEVATIONS
- A3 - MAIN FLOOR PLAN
- A4 - UPPER FLOOR PLAN
- A5 - BASEMENT PLAN
- A6 - FOUNDATION PLAN
- A7 - ROOF & DETAILS
- A8 - SECTIONS
- A9 - WINDOW/DOOR SCHEDULE

LOT SETBACKS

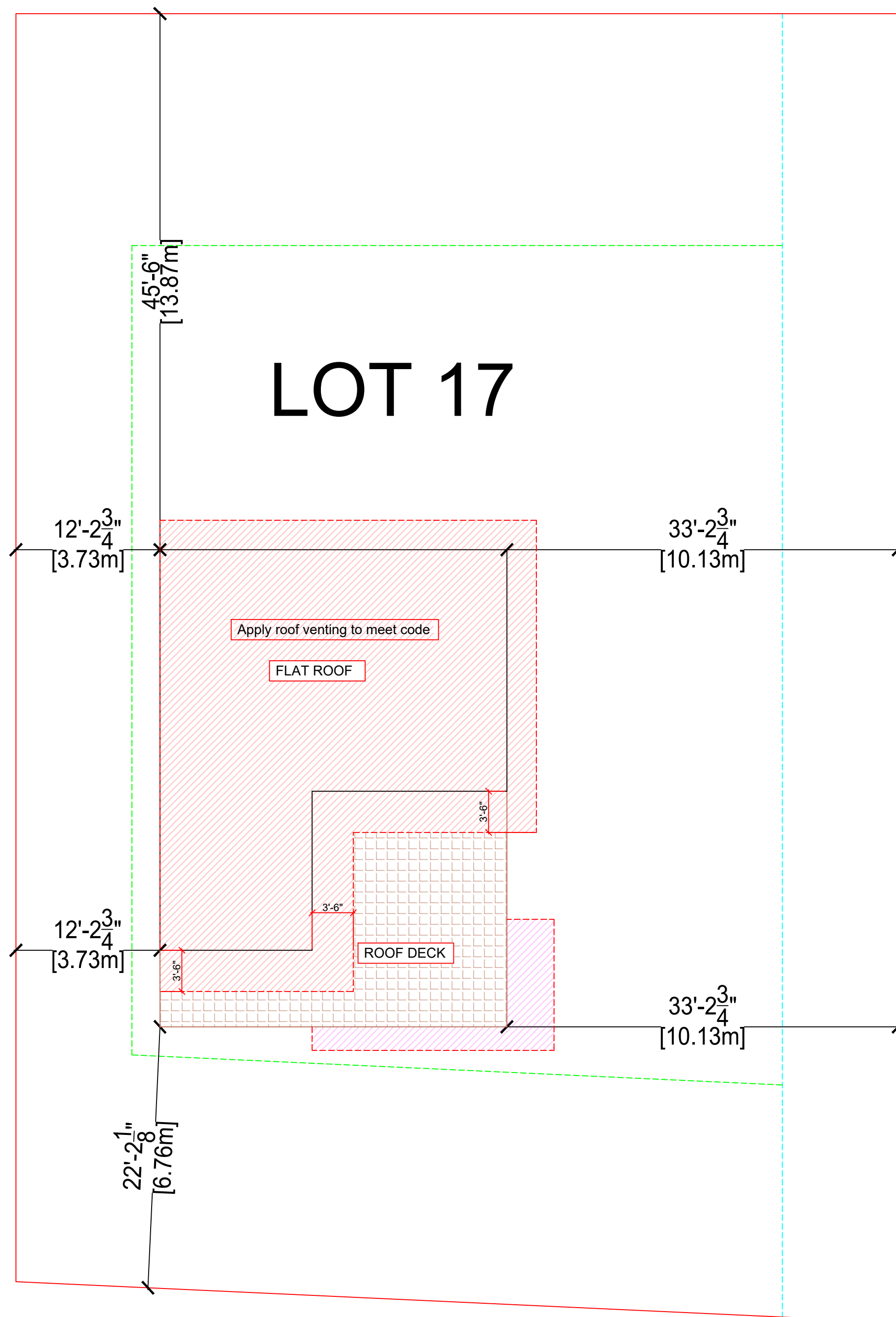
FRONT - 6M
16M LIMIT DIST. TO CENTER OF ROAD
Back - 6M
13.87 LIMITING DISTANCE TO REAR P.L.
SIDE 3M
3.73M LIMIT. DIST. ON LEFT,
10.13 LIMIT. DIST. ON RIGHT

LOT COVERAGE:

LOT AREA: 8193 SQ FT.
MAIN FLOOR AREA: 933 SQ FT.
2ND FLOOR AREA: 658 SQ FT.
UNDEV. BASEMENT FLOOR: 614 SQ FT.
SUITE AREA - N/A
TOTAL FOOTPRINT AREA: 1193 SQ FT.
RATIO: 14.7%
ALLOWABLE: 45.0%

SITE PLAN

NOTE: GEOMATIC/SURVEY/GRADES REQ'D



2ND ST SE

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NO.	DATE	DESCRIPTION
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REVISIONS



Wood Creek Construction Ltd.
-Building with Confidence-

CIVIC ADDRESS

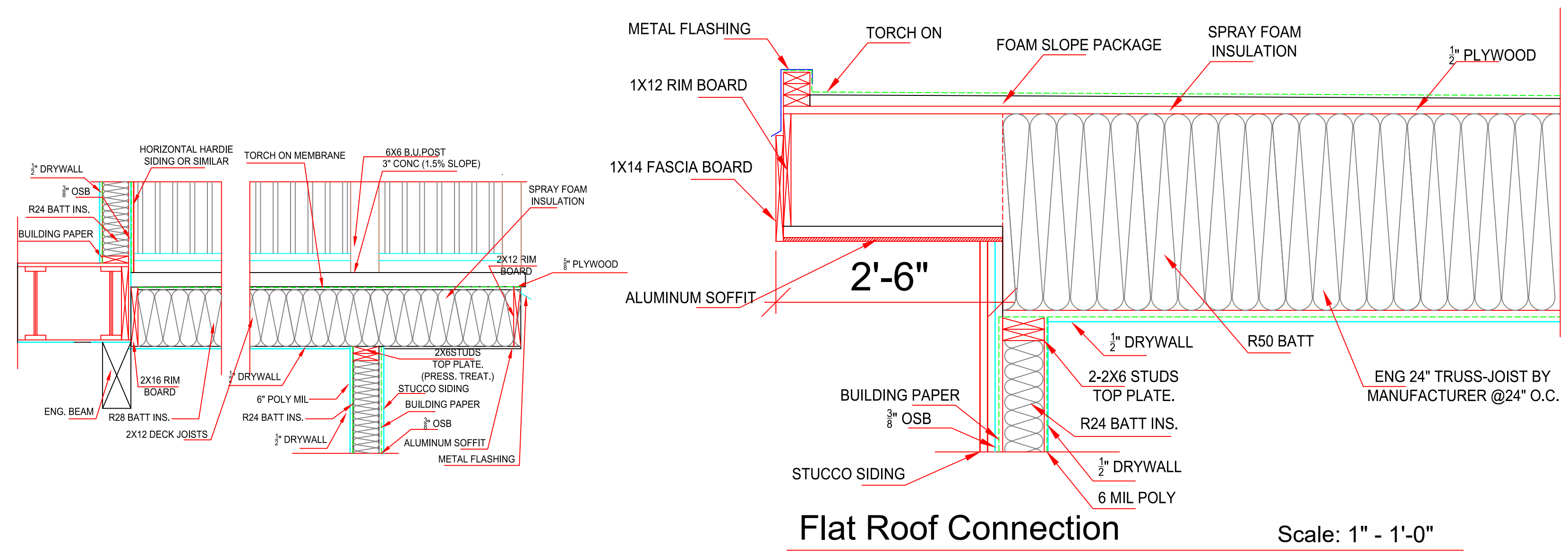
1020 - 17 AVE SE

PROJECT NO.

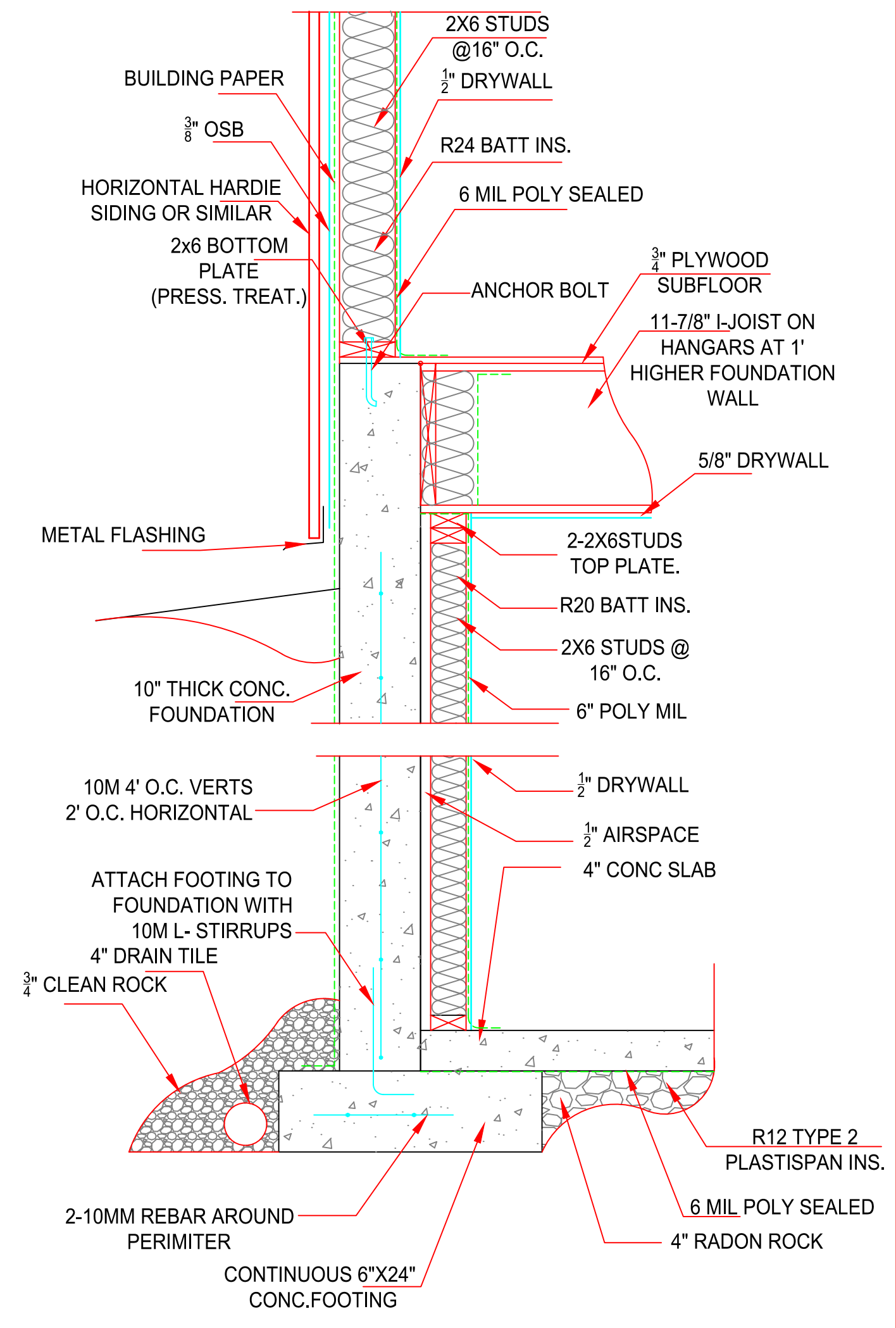
CUSTOMER **HANSON**

SHEET TITLE **ROOF PLAN/ DETAILS**

DATE	FEB 3/22	SHEET NUMBER
SCALE	VARIES	A-7
DRAWN	PC	
CHECKED	XX	

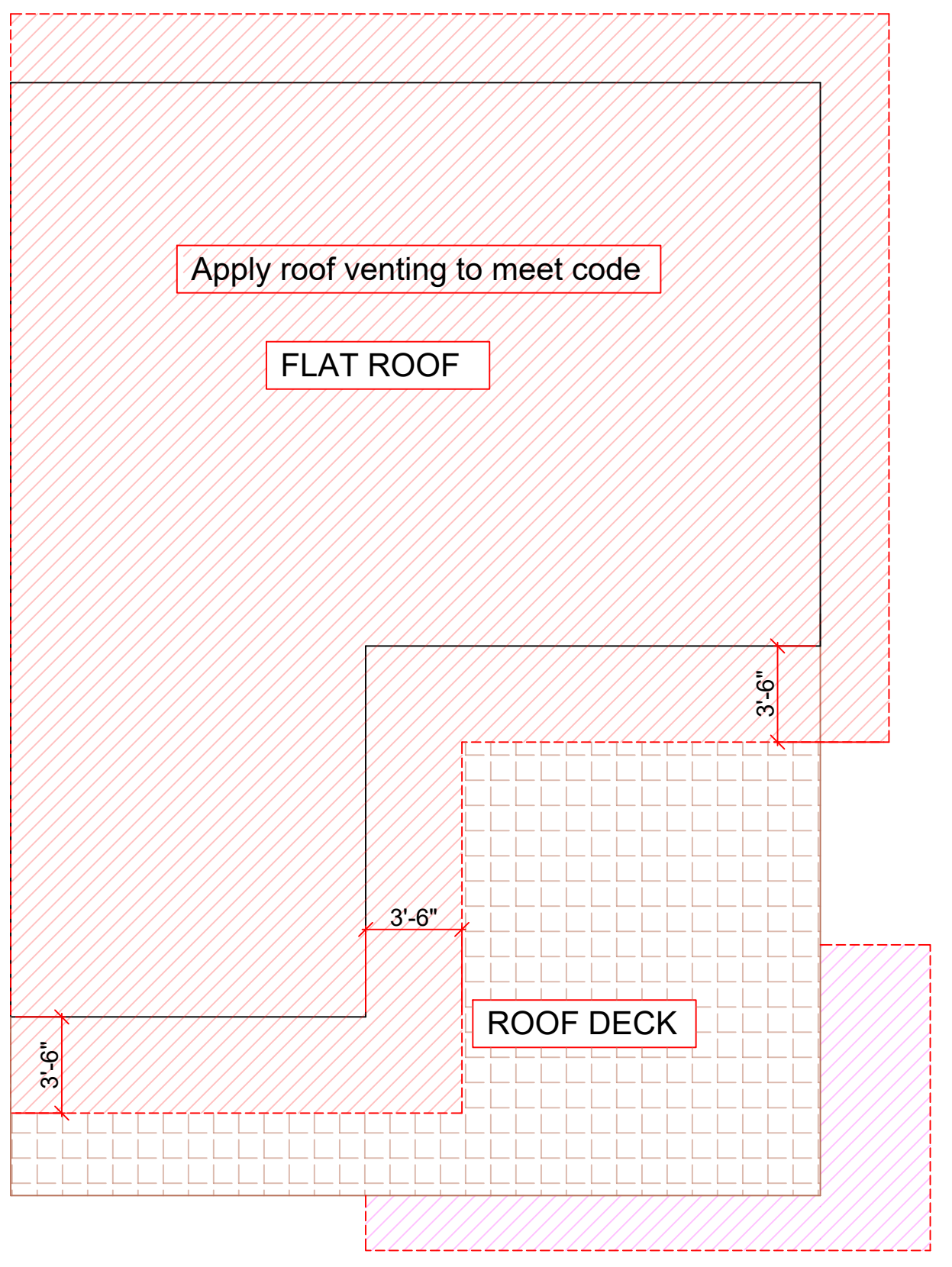


Flat Roof Connection Scale: 1" = 1'-0"



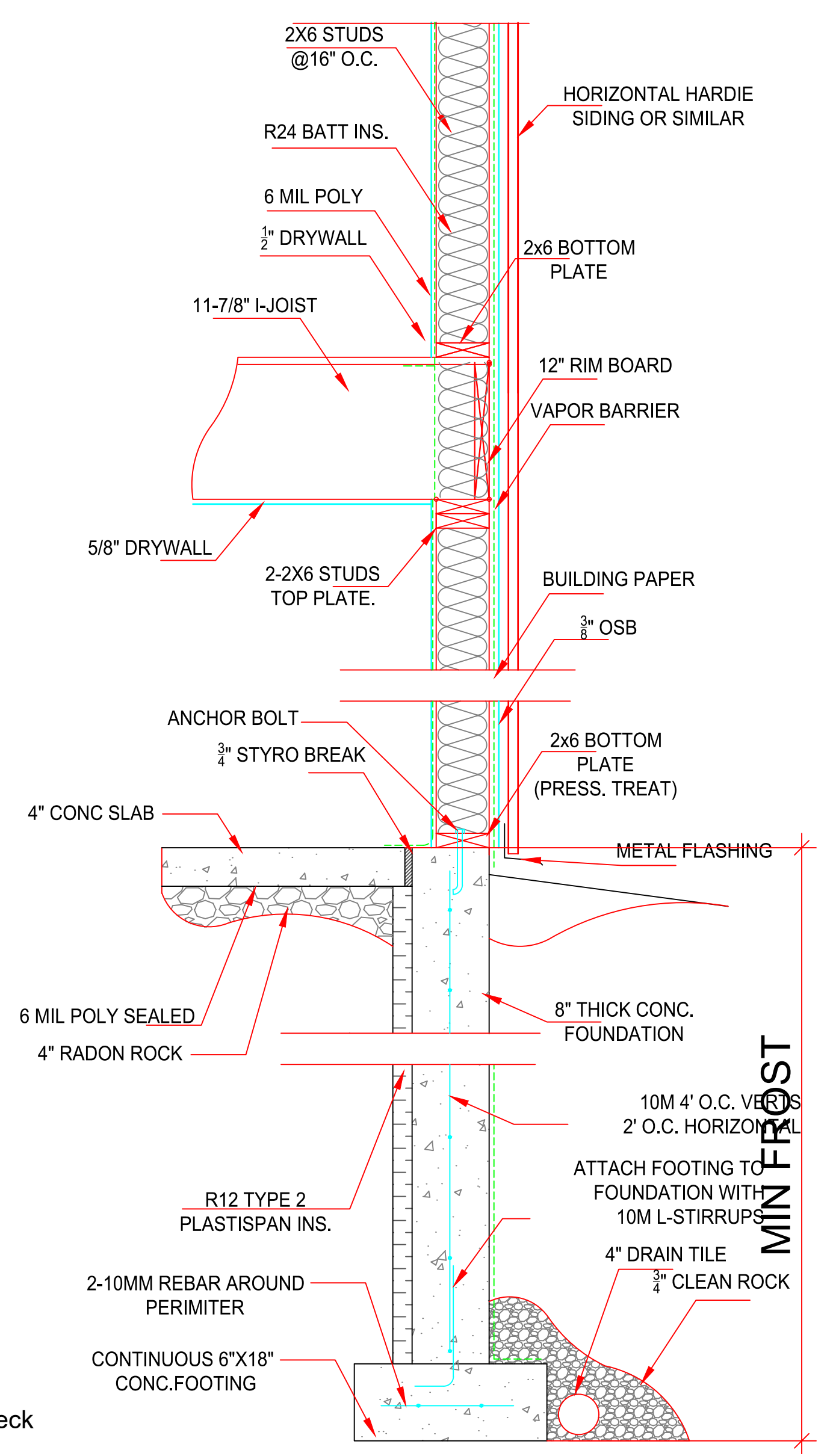
Rear Patio Detail Scale: 1" = 1'-0"

Deck Detail Scale: 1" = 1'-0"

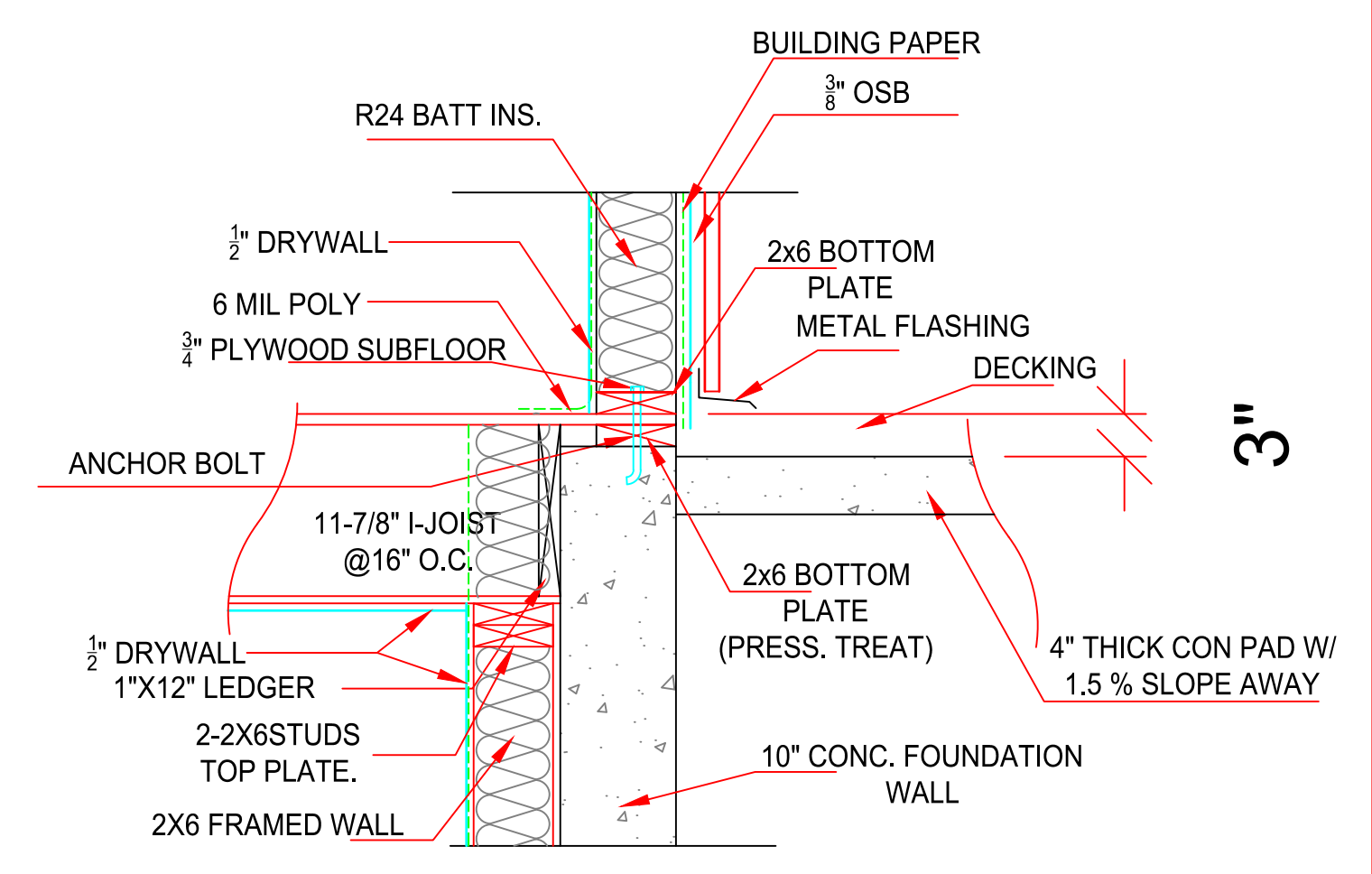


Roof Plan SCALE: 3/16" = 1'0"

- 30" O/H Except where noted
- Rafter system to be engineered
- 1x6 T&G pine board soffits in deck roof areas
- Balance of house c/w vented aluminum soffit



Garage Slab/Wall/Joist system Scale: 1" = 1'-0"



- Entry level Roof Deck
- Mid-level roof
- Upper level roof

