

SHEET LEGEND
A1 - SITE PLAN & NOTES
A2 - ELEVATIONS
A3 - MAIN FLOOR PLAN
A4 - UPPER FLOOR PLAN
A5 - BASEMENT PLAN
A6 - FOUNDATION PLAN
A7 - ROOF & DETAILS
A8 - SECTIONS
A9 - WINDOW/DOOR SCHEDULE

LOT SETBACKS

FRONT - 6M

16M LIMIT DIST. TO CENTER OF ROAD

Back - 6M

13.87 LIMITING DISTANCE TO REAR P.L.

SIDE 3M

3.73M LIMIT. DIST. ON LEFT, 10.13 LIMIT. DIST. ON RIGHT

LOT COVERAGE:

LOT AREA: 8193 SQ FT.

MAIN FLOOR AREA: 933 SQ FT.

2ND FLOOR AREA: 658 SQ FT.

UNDEV. BASEMENT FLOOR: 614 SQ FT.

SUITE AREA - N/A

TOTAL FOOTPRINT AREA: 1193 SQ FT.

RATIO: 14.7%

ALLOWABLE: 45.0%

SITE PLAN

NOTE: GEOMATIC/SURVEY/GRADES REQ'D

GENERAL NOTES

- ALL CONSTRUCTION MATERIALS & WORKMANSHIP TO BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE B.C. BUILDING CODE PLUMBING CODE, ELECTRICAL CODE, AND ALL OTHER CODES, ZONING, AND BYLAWS THAT MAY APPLY.
- 2. THE CONTRACTOR AND ALL SUB-TRADES ARE RESPONSIBLE FOR THE REVIEW OF ALL DRAWINGS AND SITE CONDITIONS PRIOR TO COMMENCING WORK OR ORDERING ANY MATERIAL, AND SHALL REPORT AND DISCREPANCIES THAT AFFECT DESIGN TO WOOD CREEK IMMEDIATELY
- 3. ALL FRAMING MATERIAL TO BE S.P.F. #2 OR BETTER WITH THE EXCEPTION OF WALL STUDS
- 4. CONCRETE FOOTINGS AND WALLS TO BE A MINIMUM 28MPA @28 DAYS. FLOOR SLABS AND SIDEWALKS TO BE MINIMUM 32MPA @ 28 DAYS.
- 5. ALL CONCRETE FOOTINGS TO BE PLACED ON ORIGINAL UNDISTURBED GROUND. FREE OF ALL ORGANIC. FROZEN OR FROSTY MATERIAL.
- 6. DAMP PROOF FOUNDATION WALLS BELOW GRADE WITH 2 COATS OF BITUMINOUS MATERIAL.
- 7. 6 MIL. ULTRAVIOLET RESISTANT POLY VAPOUR BARRIER ON A.) 4" OF GRANULAR COMPACTABLE FILL UNDER EXTERIOR OR GARAGE SLABS. OR B.) 4" OF $\frac{3}{4}$ " DRAIN ROCK OR OTHER MATERIAL SUITABLE FOR MOVEMENT OF RADON GAS UNDER INTERIOR SLABS.
- 8. ALL FOUNDATION DRAINS TO BE 4" PERFORATED P.V.C. WITH FILTER CLOTH AND MINIMUM 6" DRAIN ROCK, DRAINED TO MUNICPAL SERVICES ACCORDING TO LOCAL STANDARDS.
- 9. GRADE TO BE SLOPED AWAY FROM BUILDING AT ALL LOCATIONS ADJACENT TO BUILDING.
- 10. ALL TRUSSES I-JOISTS, BEAMS OR OTHER STRUCTURAL MEMBERS NOT COVERED IN B.C. BUILDING CODE TO BE DESIGNED AND ENGINEERED BY TRUSS MANUFACTURER OR STRUCTURAL ENGINEER PRIOR TO ANY FABRICATION.
- 11. CONTRACTOR TO VERIFY ALL PROPERTY AND FOUNDATION LINES WITH A LEGAL LAND SURVEYOR PRIOR TO PLACING FOOTINGS OR RUNNING SERVICES WITHIN BUILDING ENVELOPE.
- 12. ALL ROOF SPACES TO BE VENTILATED WITH SOFFIT AND ROOF VENTS WITH A MINIMUM DISTRIBUTION AREA OF 1/300. A MINIMUM OF 25% OF VENTS TO BE LOCATED AT ROOF. MINIMUM 25% TO BE LOCATED AT SOFFIT.
- 13. DOOR FRAMES AT ENTRANCES AND EXTERIOR SPACES TO DWELLING UNITS SHALL BE SOLIDLY BLOCKED BETWEEN DOOR FRAME AND STUDS AT THE HEIGHT OF THE DEADBOLT TO RESIST SPREADING.
- 14. ALL GLASS IN DOORS, SIDELITES OR WINDOWS WITHIN 12" OF FINISHED FLOOR TO BE CONSTRUCTED OF SAFETY GLASS.
- 15. RAIN WATER LEADERS NOT SHOWN ON PLAN . CONTRACTOR TO DETERMINE EXACT LOCATION SUITABLE TO SITE AND MUNICIPAL DRAINAGE.
- 16. ELECTRICAL LOCATIONS TO BE DETERMINED BY ELECTRICAL CONTRACTOR WITH THE APPROVAL OF THE HOME OWNER OR GENERAL CONTRACTOR AND IN ACCORDANCE WITH CURRENT ELECTRICAL CODE.
- 17. APPROVED SMOKE ALARMS TO BE INSTALLED WITH LOCATION APPROVED BY APPROPRIATE LOCAL MUNICIPALITY.
- 18. REFER TO LAOUTS AND SPECIFICATIONS FROM STRUCTURAL ENGINEER, FLOOR JOIST SUPPLIER, AND ROOF TRUSS MANUFACTURER FOR BEAM, POST, FOOTING LOCATIONS AND SIZES. ENSURE PROPER BEARING IS PROVIDED FOR ALL POINT LOADS. ANY STRUCTURAL SPECIFICATIONS SHOWN ON WOOD CREEK PLANS ARE ESTIMATES ONLY AND MAY NOT ACCURATELY REPRESENT LOADING AND SIZING, OR MAY NOT INCLUDE POINT LOADS OR STRUCTURAL MEMBERS DESIGNED BY OTHERS.

CODES AND BYLAWS. DESIGN OF
FOUNDATION AND FOOTINGS TO BE
MODIFIED TO SUIT LOCAL SOIL
CONDITIONS AS REQUIRED
DO NOT SCALE DRAWINGS. WRITTEN
DIMENSIONS SHALL TAKE PRECEDENCE
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NOTE: ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL

WOOD CREEK CONSTRUCTION AND MAY BE USED ONLY FOR THE PURPOSE FOR WHICH IT IS LOANED BY THE COMPANY

1 NOV 12/20 TRANSOM WINDOWS ADDED TO BEDROOM 1 & MASTER BEDROOM
2 NOV 26/20 ENG. DONE, PADS REVISED
3 JAN 8/21 CLIENT CHANGES
4 JAN 27/21 GARAGE PAD/POST/BEAM REVISED
5 JAN 29/21 WINDOW CHANGES
6 AUG 3/21 RE-DESIGN
7 SEPT 13/21 FOYER EXPANDED/STAIR SECTION
8 NOV 1/21 PLAN CHECK REVISIONS
9 DEC 2/21 ENGINEERING CHANGES
10 DEC 3/21 SUITE REMOVED
11 DEC 10/21 DINING AND KITCHENETTE
12 DEC 16/21 PERMIT NOTES ADDED
13 JAN 10/22 SUITE OPTION

13 JAN 10/22 SUITE OPTION

14 JAN 21/22 W6,16,18 CHANGED, GARAGE HEAD

15 JAN 24/22 WINDOWS/DOORS CHANGE
GAS FP ADDED TO UPPER FLOOR

16 JAN 31/22 BATHROOMS REVISED

17 FEB 1/22 BEAMS/OVERHANGS FIXED

18 FEB 3/22 LEFT ELEVATION OVERHANG REMOVER

REVISIONS



-Building with Confidence -

CIVIC ADDRESS

1020 - 17 AVE SE

CUSTOMER HANSON

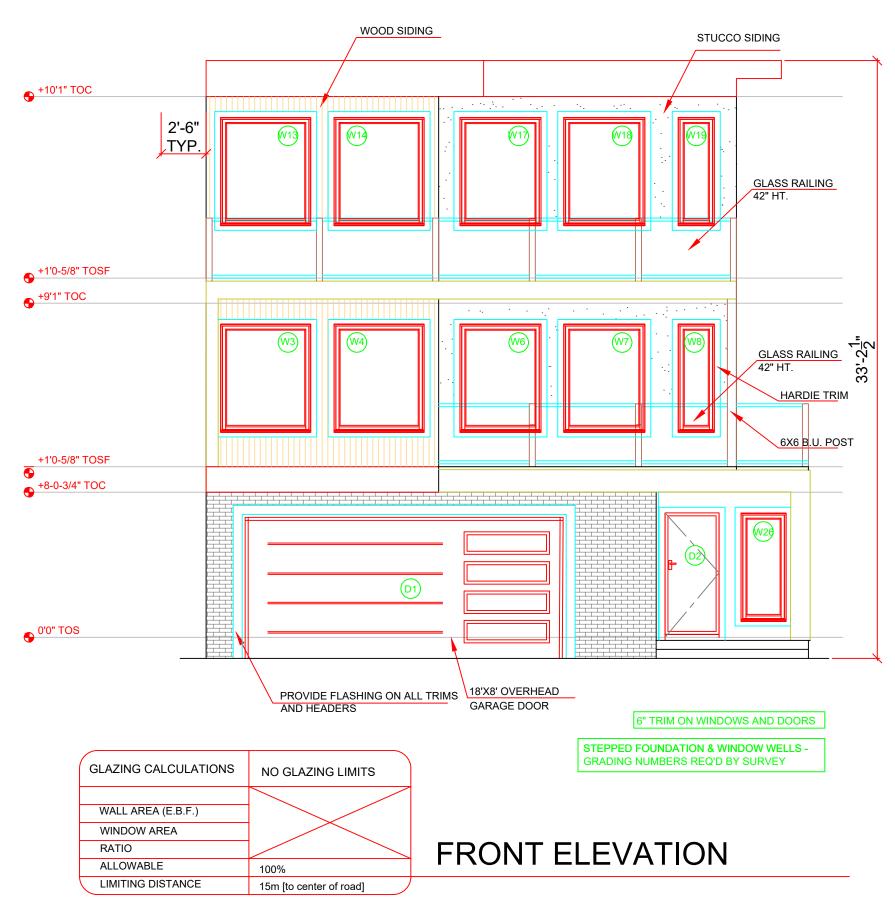
SITE PLAN & GENERAL NOTES

DATE FEB 3/22

SCALE 3/32"=1'

DRAWN PC
CHECKED

2ND ST SE NOTE: GEOMAREQ'D



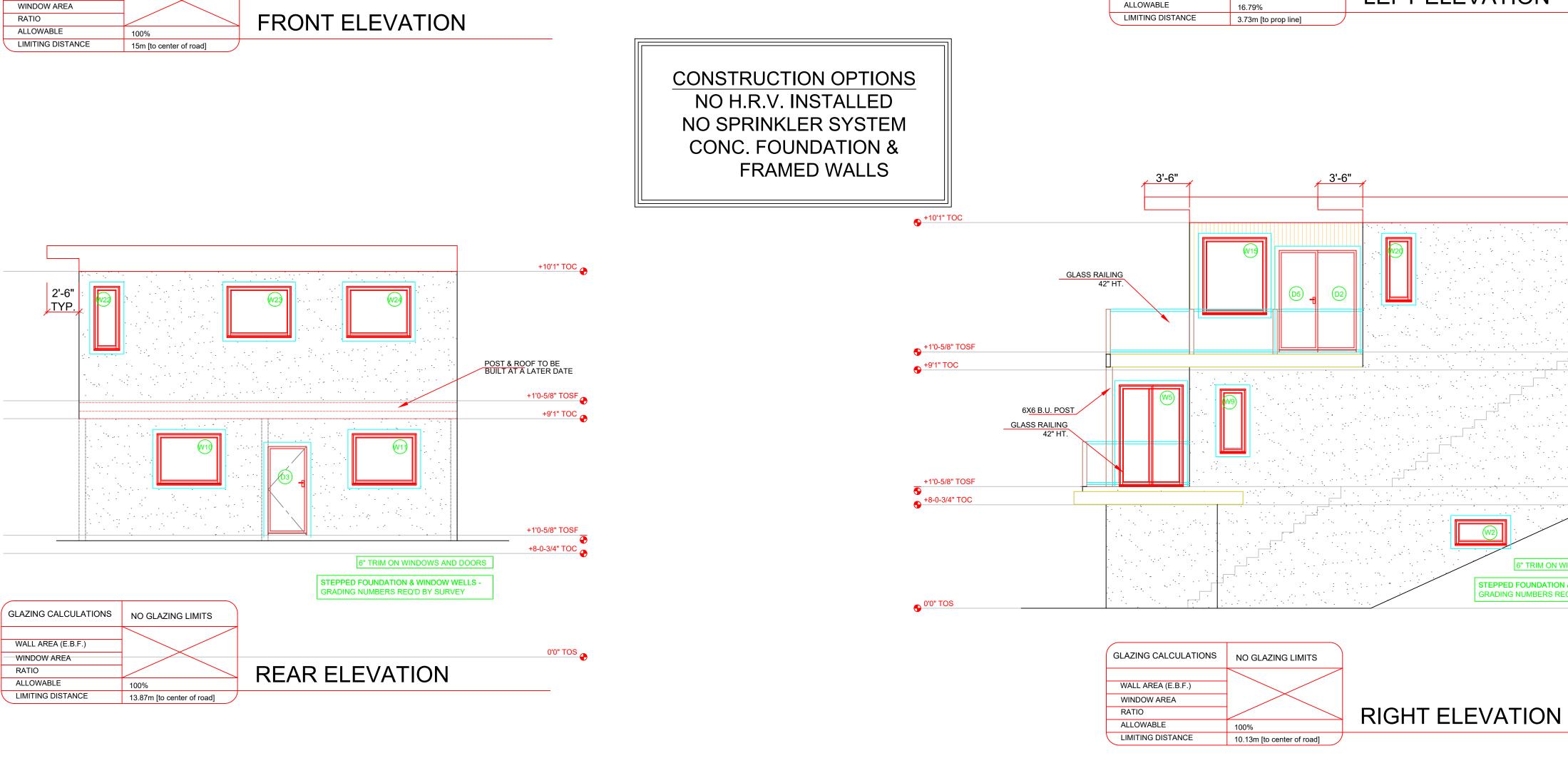
2'-6" TYP.

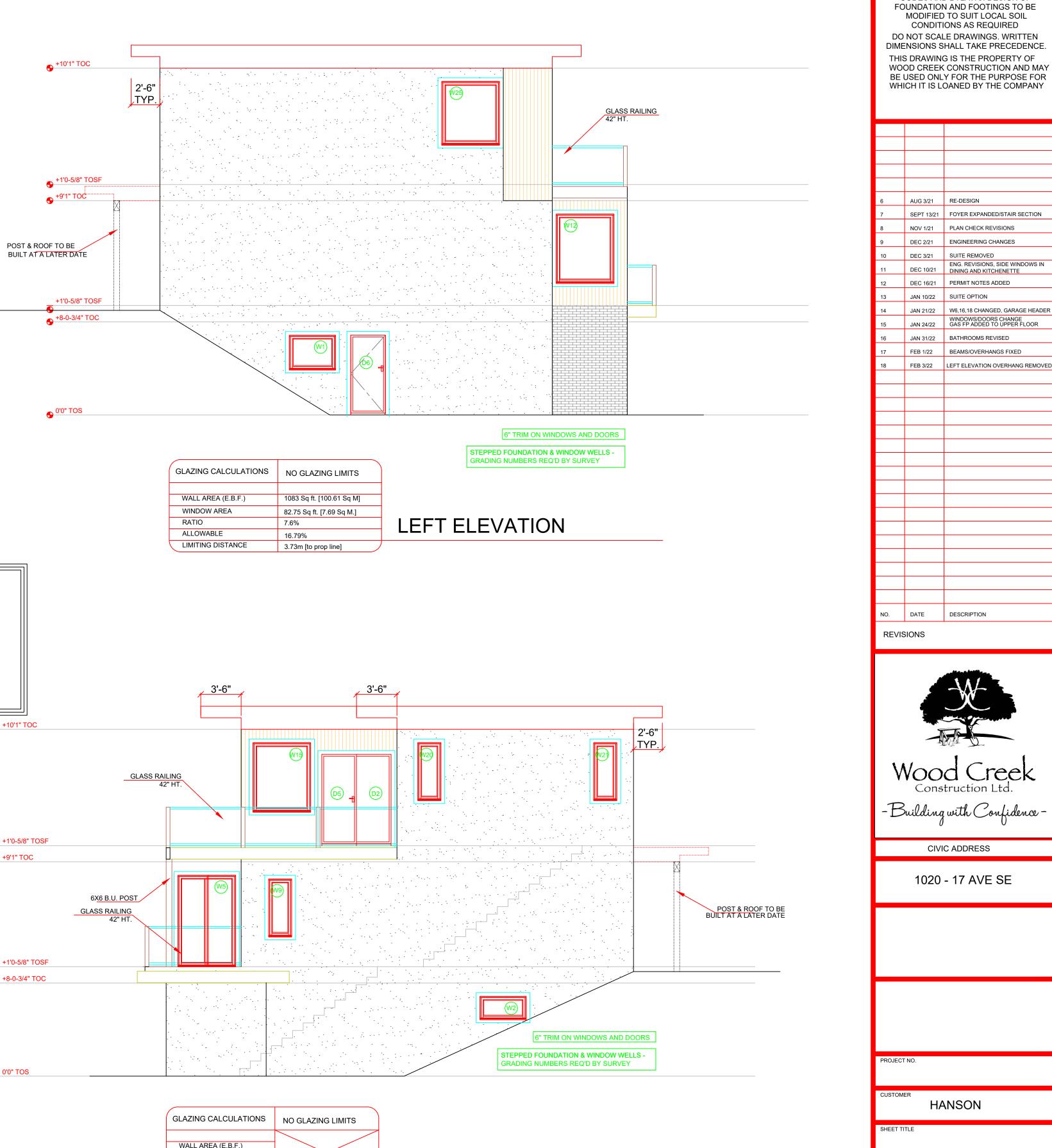
WALL AREA (E.B.F.)

LIMITING DISTANCE

WINDOW AREA

RATIO ALLOWABLE





NOTE: ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL CODES AND BYLAWS. DESIGN OF

ENG. REVISIONS, SIDE WINDOWS IN

CIVIC ADDRESS

HANSON

ELEVATIONS

SHEET NUMBER

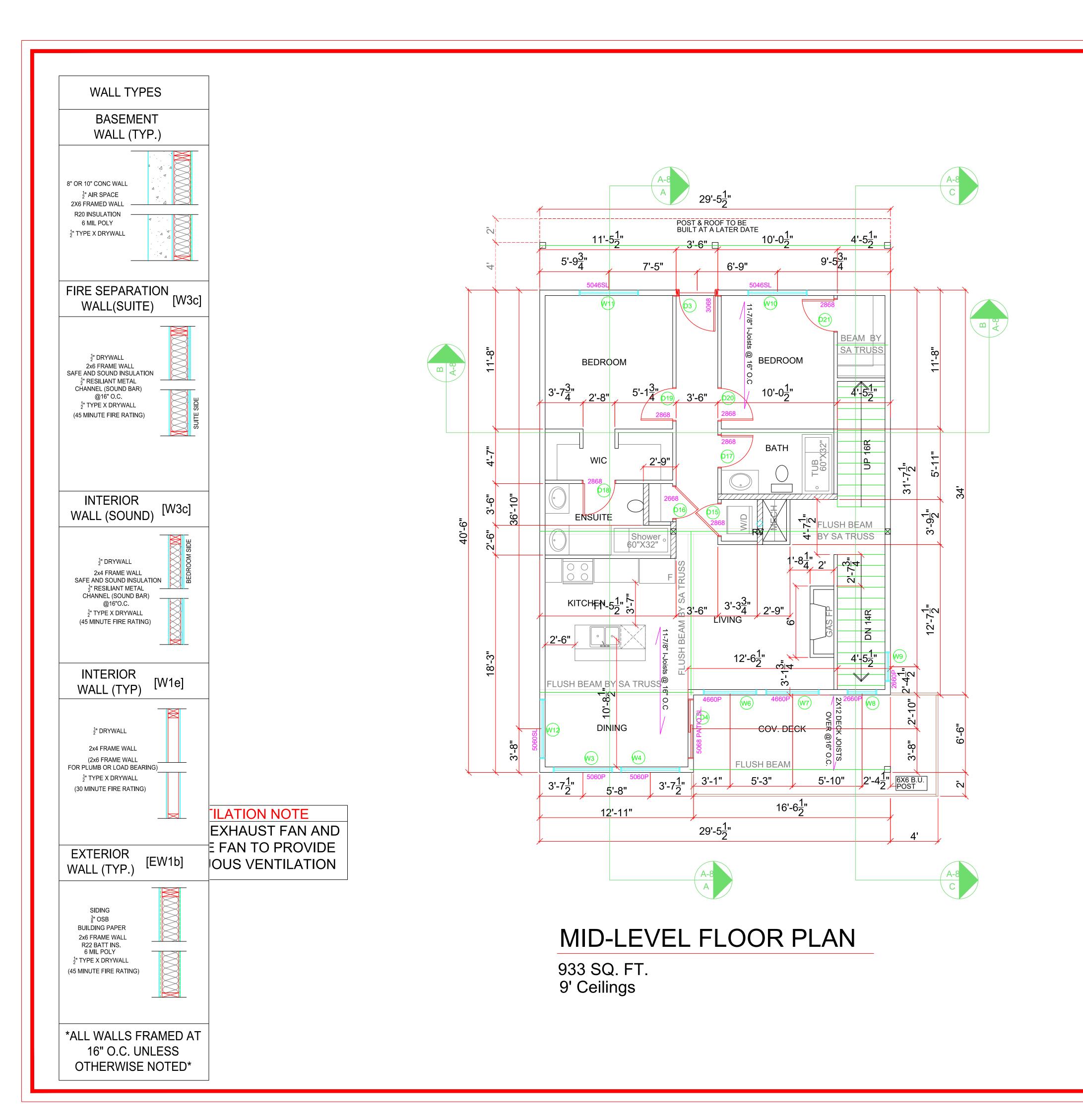
A-2

DATE FEB 3/22

DRAWN PC

CHECKED XX

1/4"=1'



LOOR NOTES

PICTURE - P AWNING - A HORIZONTAL SLIDER - SL SINGLE HUNG - SH

> SAFE & SOUND INSULATION

> > PLUMB WALL

L.B. WALL

- FRAMED EXTERIOR WALLS DO NOT INCLUDE EXTERIOR SHEATHING.
- ALL DIMENSIONS SHOWN ARE TO FRAMING AND DO NOT INCLUDE DRYWALL OR OTHER FINISHES
- 3. 3.ALL HEADERS TO BE 3-2X10 IN 2X6 WALLS AND 2-2X10 IN 2X4 WALLS UNLESS NOTED OTHERWISE
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- 5. ALL DOOR SLABS TRO MEASURE 80" IN HEIGHT **UNLESS OTHERWISE** NOTED
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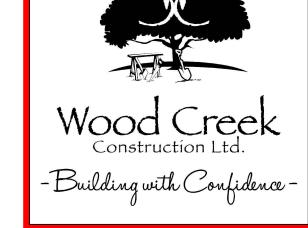
THIS DRAWING IS THE PROPERTY OF WOOD CREEK CONSTRUCTION AND MAY BE USED ONLY FOR THE PURPOSE FOR WHICH IT IS LOANED BY THE COMPANY

NOV 26/20 ENG. DONE, PADS REVISED

JAN 27/21 GARAGE PAD/POST/BEAM REVISED

JAN 8/21 CLIENT CHANGES

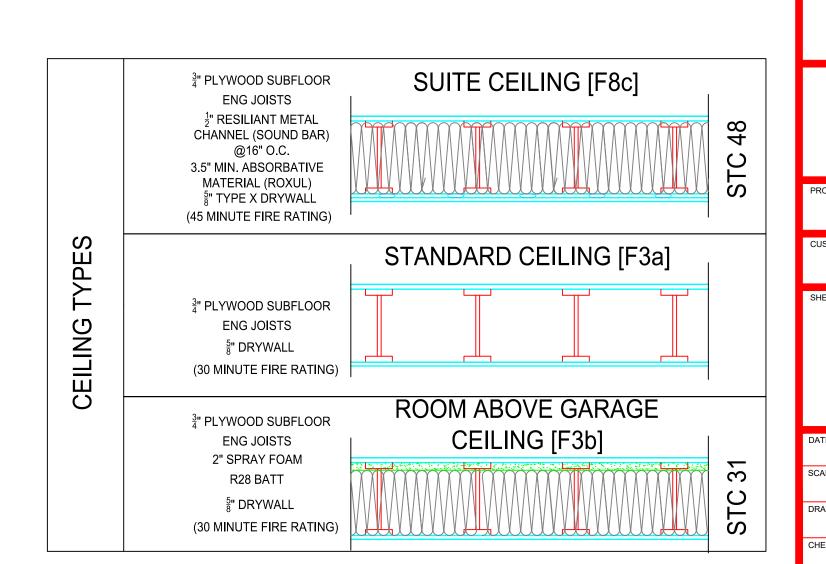
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17	FEB 1/22	BEAMS/OVERHANGS FIXED		
18	FEB 3/22	LEFT ELEVATION OVERHANG REMOVED		
NO.	DATE	DESCRIPTION		



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MAIN FLOOR PLAN

HANSON

FEB 3/22 1/4"=1'-0" **A-3** PC

$10'-5\frac{1}{0}$ " $2'-3\frac{1}{4}"$ $10'-10\frac{1}{2}$ " 10'-6" OFFICE BEDROOM SITTING AREA CLIENT TO SHOP **OUT STAND-ALONE** TUB TO FIT OPTIONAL ISLAND KITCHENETTE ROOF-TOP DECK 5'-10" 2'-4¹/₂" 3'-7¹/₂" 3'-1" 3'-71" 5'-3" 12'-11" 29'-5 $\frac{1}{2}$ "

2X12 JOISTS TO SLOPE

ROOF TOP DECK NOTE

AT $\frac{1}{8}$ " PER FOOT OF SLOPE

VENTILATION NOTE

PROVIDE EXHAUST FAN AND FURNACE FAN TO PROVIDE CONTINUOUS VENTILATION

UPPER-LEVEL FLOOR PLAN

658 SQ. FT. 9' Ceilings

LOOR NOTES

PICTURE - P AWNING - A HORIZONTAL SLIDER - SL SINGLE HUNG - SH

SAFE & SOUND INSULATION

PLUMB WALL

- FRAMED EXTERIOR WALLS
- **INCLUDE EXTERIOR** SHEATHING. ALL DIMENSIONS SHOWN ARE TO FRAMING AND DO

NOT INCLUDE DRYWALL

- OR OTHER FINISHES 3. 3.ALL HEADERS TO BE 3-2X10 IN 2X6 WALLS AND 2-2X10 IN 2X4 WALLS UNLESS NOTED OTHERWISE
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	SEPT 13/21	FOYER EXPANDED/STAIR SECTION
	NOV 1/21	PLAN CHECK REVISIONS
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O.	DATE	DESCRIPTION



REVISIONS

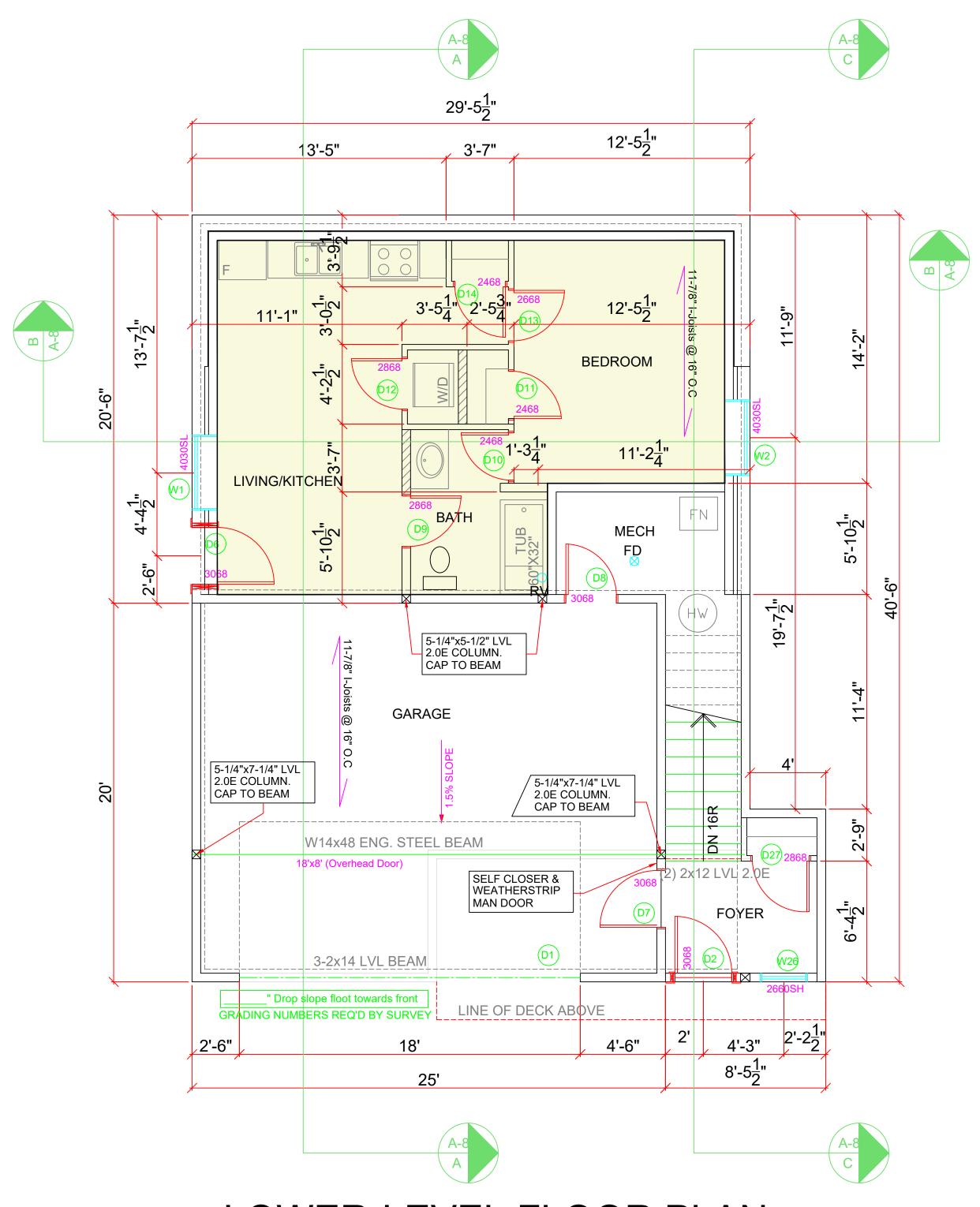
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UPPER FLOOR PLAN

DATE FEB 3/22	SHEET NUMBER
SCALE 1/4"=1'-0"	Λ /
DRAWN PC	/ \



SAFE AND SOUND NOTE

SOUND BAR REQ'D ON SUITE SIDE FIREWALL AS WELL AS FUTURE SUITE CEILING

FIRE SEPARTION NOTE

45 MINUTE FIRE SEPARATION MINIMUM BETWEEN SUITE AND FINSIHED BASEMENT

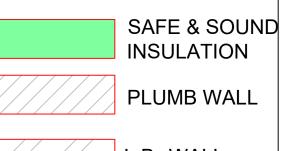
VENTILATION NOTE

PROVIDE EXHAUST FAN AND FURNACE FAN TO PROVIDE CONTINUOUS VENTILATION

LOWER-LEVEL FLOOR PLAN

614 SQ. FT. SUITE AREA - 501 SQ FT. 8' Ceilings

PICTURE - P AWNING - A HORIZONTAL SLIDER - SL SINGLE HUNG - SH



L.B. WALL

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FEB 3/22	LEFT ELEVATION OVERHANG REMOVED
DATE	DESCRIPTION
	SEPT 13/21 NOV 1/21 DEC 2/21 DEC 3/21 DEC 10/21 DEC 16/21 JAN 10/22 JAN 21/22 JAN 31/22 FEB 1/22 FEB 3/22



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BASEMENT PLAN

FEB 3/22 1/4"=1' A-5 CHECKED

JOIST NOTE

OFFSET JOIST SO IT DOES NOT SIT ON WALL. JOIST SPACING WILL BE GREATER THAN 16", ADD EXTRA **BLOCKING HERE**

EXHAUST FAN NOTE

FANS TO BE INSTALLED IN ALL BATHROOMS AND IN THE KITCHEN

FOOTING NOTE

6"x18" conc strip footing min 28MPA concrete, 2-10M bars around 8" foundation wall

VENTILATION NOTE

PROVIDE EXHAUST FAN AND FURNACE FAN TO PROVIDE CONTINUOUS VENTILATION

FINAL GRADE NOTE:

final grades and stepped foundation to be determined by surveyor

SLAB NOTE:

4" conc slab, min 32MPA conc, 6 mil poly vapour barrier sealed to walls, 4" drain rock or other clean material suitable for the movement of radon gas in mech room only

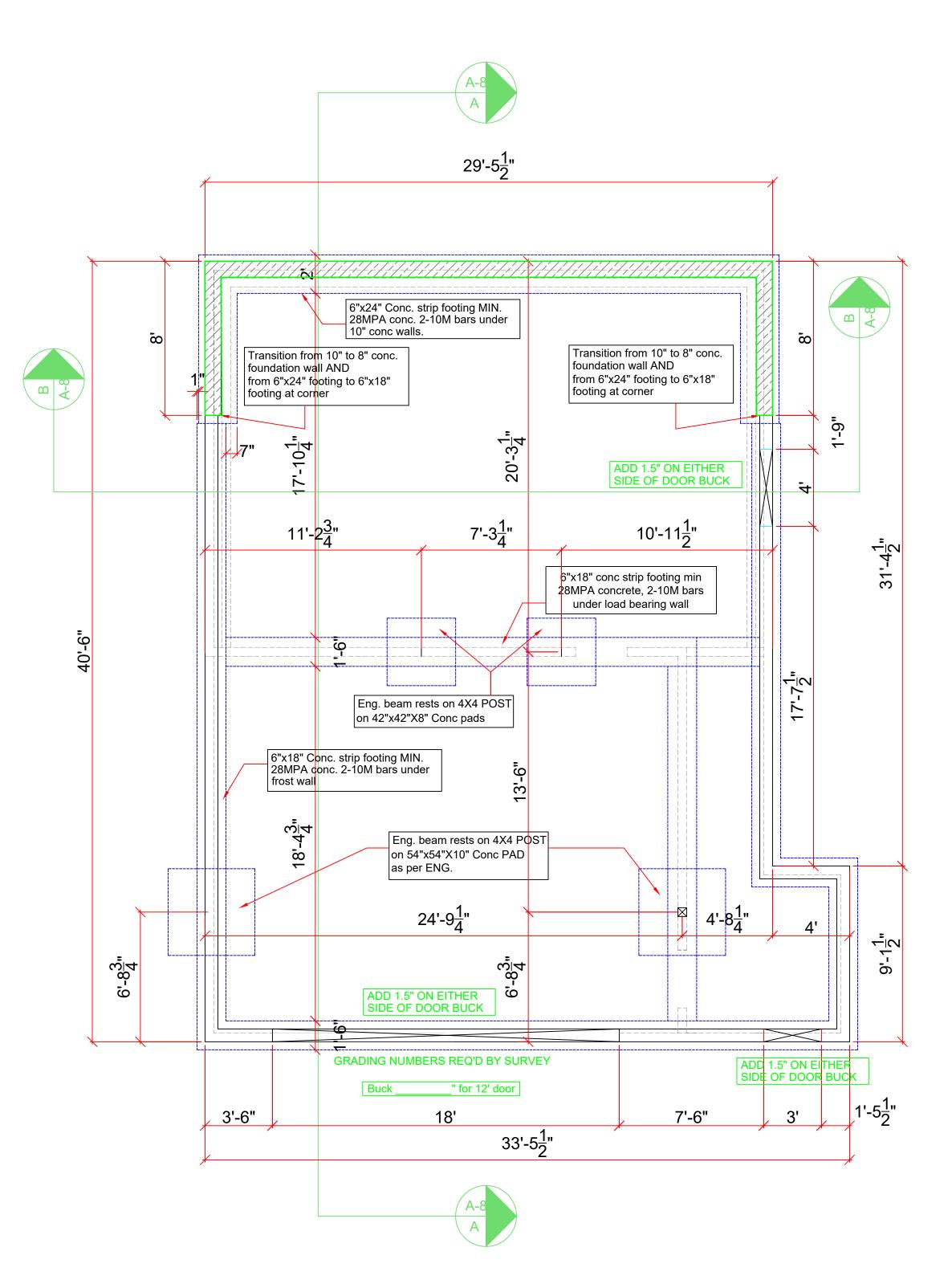
BACKFILL NOTE:

BACKFILL HEIGHT

CANNOT EXCEED REQ-**UIREMENTS AS PER** SUBSECTION 9.15.4 OF BC BLDG CODE

ENGINEERING NOTE

Garage footings, pads, foundation and supports as per P.ENG. (see P.Eng. plans for confirmation)



FOUNDATION PLAN

LOOR NOTES

PICTURE - P AWNING - A HORIZONTAL SLIDER - SL SINGLE HUNG - SH

SAFE & SOUND INSULATION PLUMB WALL LOAD BEARING

WALL 1' HIGHER FOUNDATION

FRAMED EXTERIOR WALLS **INCLUDES EXTERIOR**

SHEATHING. ALL DIMENSIONS SHOWN ARE TO FRAMING AND DO NOT INCLUDE DRYWALL

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NOTE: ALL CONSTRUCTION SHALL

BE USED ONLY FOR THE PURPOSE FOR WHICH IT IS LOANED BY THE COMPANY TRANSOM WINDOWS ADDED TO BENROOM 1 & MASTER BEDROOM

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REVISIONS

-Building with Confidence -

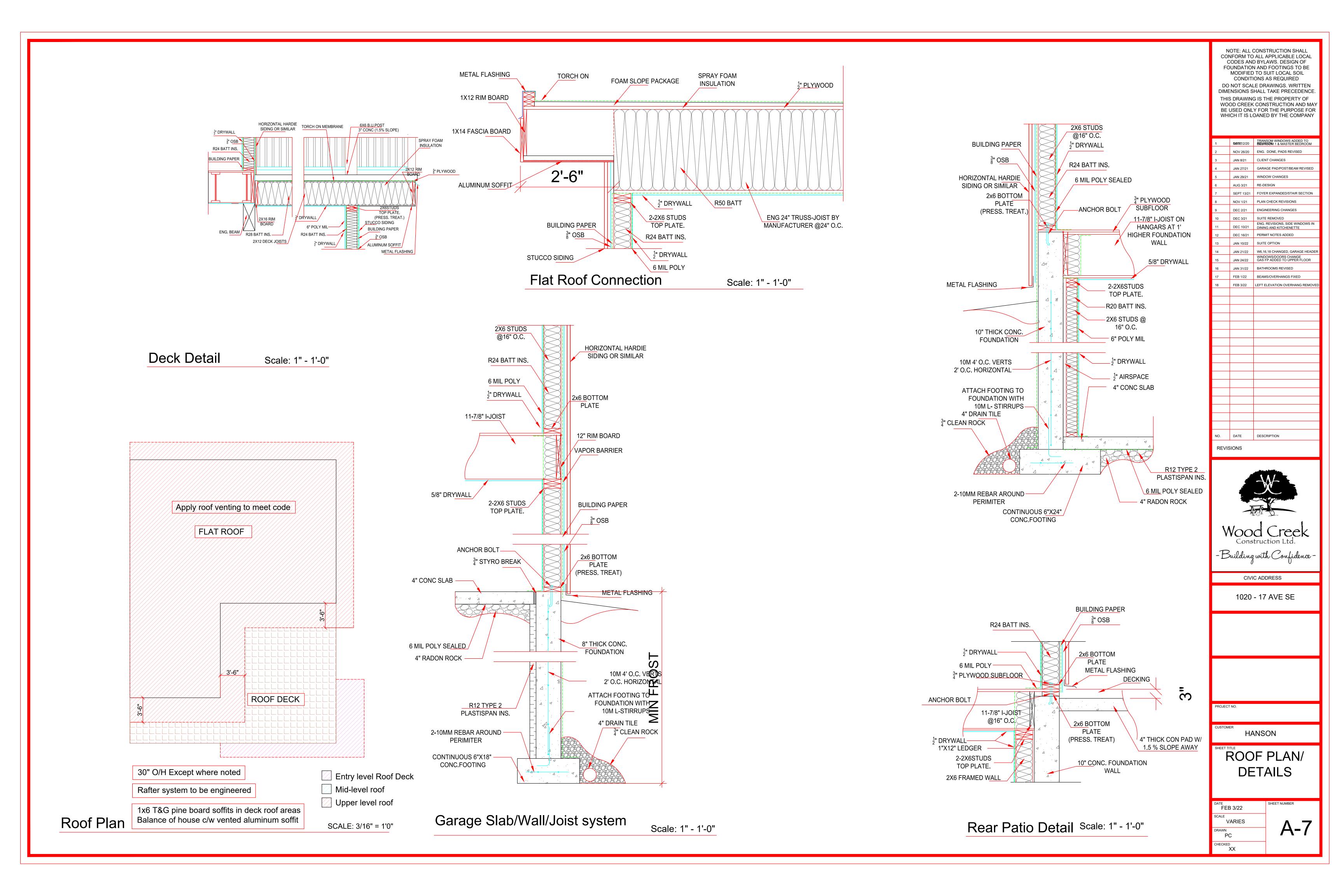
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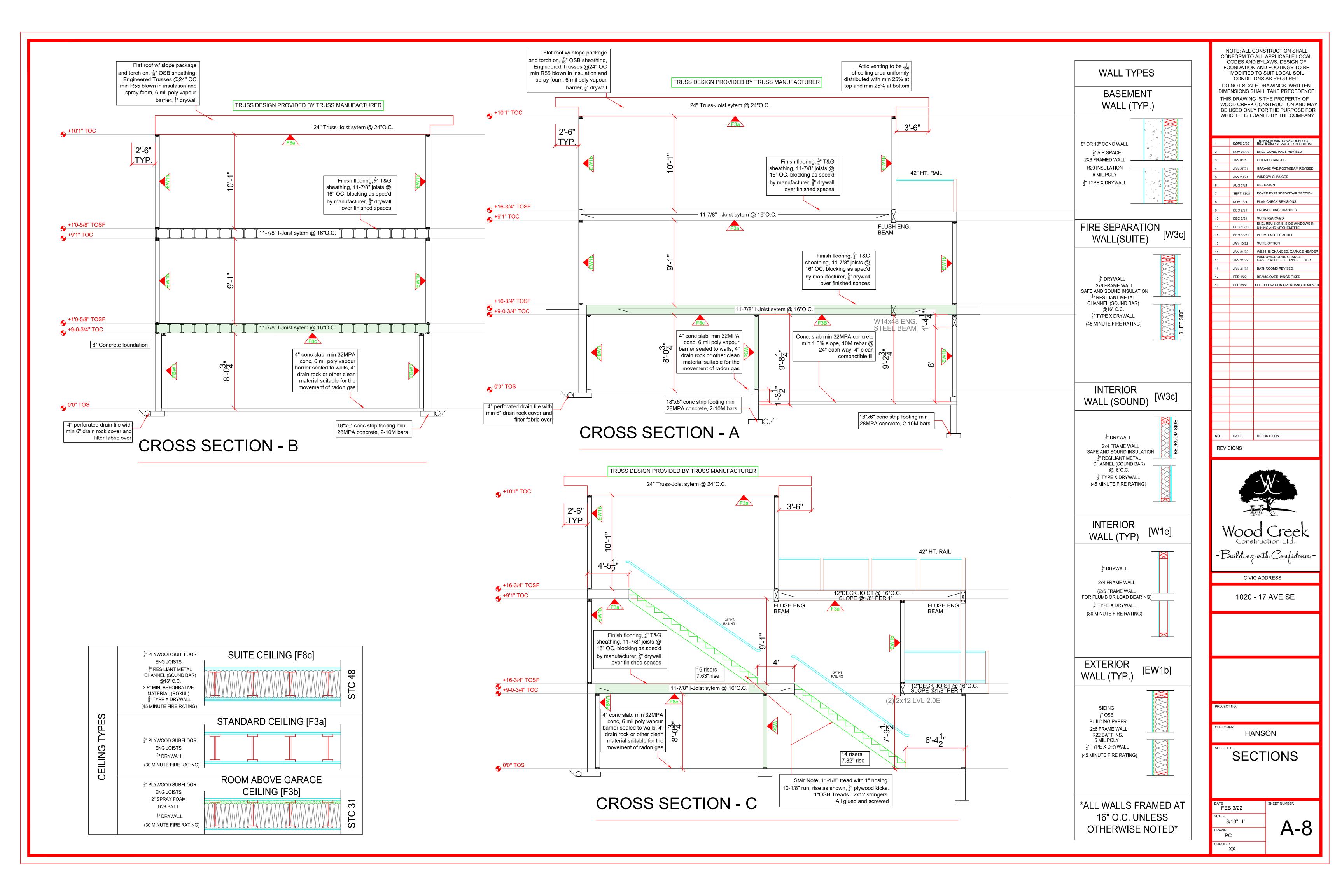
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FOUNDATION PLAN

FEB 3/22 1/4"=1'-0" A-6 CHECKED





	WINDOW SCHEDULE					
	MARK		SASH OPERATION	RO WIDTH	RO HEIGHT	COMMENTS
W	1	4030	SLIDER			
W	2	4030	SLIDER			
W	3	5060	PICTURE			
W	4	5060	PICTURE			
\bigvee	6	4660	PICTURE			
\bigvee	7	4660	PICTURE			
W	8	2660	PICTURE			
W	9	2660	PICTURE			
W	10	5046	SLIDER			
W	11	5046	SLIDER			
W	12	5060	SLIDER			
W	13	5060	PICTURE			
W	14	5060	PICTURE			
W	15	5060	SLIDER			
	17	4660	PICTURE			
$\overline{\mathbb{W}}$	18	4660	PICTURE			
W	19	2660	PICTURE			
W	20	2660	PICTURE			
W	21	2660	PICTURE			
W	22	2660	SINGLE HUNG			
W	23	5046	SLIDER			
W	24	5046	SLIDER			
W	25	5060	SLIDER			
W	26	2660	SINGLE HUNG			

	DOOR SCHEDULE						
	MARK		DOOR OPERATION	RO WIDTH	RO HEIGHT	SIDE LITES	LOCATION
D	1	18080	OH DOOR				GARAGE
D	2	3068	SWING SIMPLE				ENTRY
D	3	3038	SWING SIMPLE				REAR ENTRY
\Box	4	5068	PATIO SLIDER				FRONT DECK
D	5	6080	SLIDING				UPPER DECK
D	6	3068	SWING SIMPLE				SUITE ENTRY
D	7	3068	SWING SIMPLE				GARAGE ENTRY
D	8	3068	SWING SIMPLE				MECH
D	9	2868	SWING SIMPLE				ВАТН
D	10	2468	SWING SIMPLE				ВАТН
D	11	2468	SWING SIMPLE				CLOSET
D	12	2868	SWING SIMPLE				LAUNDRY
D	13	2668	SWING SIMPLE				BEDROOM
D	14	2468	SWING SIMPLE				LINEN CLOSET
D	15	2868	SWING SIMPLE				LAUNDRY
D	16	2668	SWING SIMPLE				LINEN
D	17	2868	SWING SIMPLE				BATH
D	18	2868	SWING SIMPLE				ENSUITE
D	19	2868	SWING SIMPLE				BEDROOM
D	20	2868	SWING SIMPLE				BEDROOM
D	21	2868	SWING SIMPLE				BED CLOSET
D	22	2868	SWING SIMPLE				OFFICE
D	23		SWING BI-PART				CLOSET
	24		SWING SIMPLE				BEDROOM
D	25	2868	SWING SIMPLE				BATH
D	26		SWING SIMPLE				BATH
	27	2868	SWING SIMPLE				FOYER CLOSET

NOTE: ALL CONSTRUCTION SHALL
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	1	TRANSOM WINDOWS ARRESTS
1	D/D/V E12/20	TRANSOM WINDOWS ADDED TO BEN ROOM
2	NOV 26/20	ENG. DONE, PADS REVISED
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NO.	DATE	DESCRIPTION



LEGAL DESCRIPTION

1020 - 17 AVE SE

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NOTES &
WINDOW/DOOR
SCHEDULES

DATE FEB 3/22 SCALE 3/16"=1' DRAWN PC

A-9