

SHEET LEGEND
A1 - SITE PLAN & NOTES
A2 - ELEVATIONS
A3 - FOUNDATION
A4 - LOWER FLOOR PLAN
A5 - UPPER FLOOR PLAN
A6 - ROOF & DETAILS
A7 - SECTIONS & SCHEDULES

LOT SETBACKS

FRONT - 6M FRONTAGE

16M LIMITING DIST. TO CENTER OF ROAD

Back - 6M

5m LIMITING DIST. TO REAR P.L.

SIDE 1.5M

1.5M LIMITING DIST. RIGHT P.L.

1.5M LIMITING DIST. LEFT P.L.

LOT COVERAGE:

LOT AREA: 7199 SQ FT.

MAIN FLOOR AREA: 1554 SQ FT.

DEV. BASEMENT FLOOR: 1495 SQ FT.

SUITE AREA - N/A

TOTAL FOOTPRINT AREA: 2688 SQ FT.

RATIO: 37.3%

ALLOWABLE: 40.0%

GENERAL NOTES

- ALL CONSTRUCTION MATERIALS & WORKMANSHIP TO BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE B.C. BUILDING CODE PLUMBING CODE, ELECTRICAL CODE, AND ALL OTHER CODES, ZONING, AND BYLAWS THAT MAY APPLY.
- 2. THE CONTRACTOR AND ALL SUB-TRADES ARE RESPONSIBLE FOR THE REVIEW OF ALL DRAWINGS AND SITE CONDITIONS PRIOR TO COMMENCING WORK OR ORDERING ANY MATERIAL, AND SHALL REPORT AND DISCREPANCIES THAT AFFECT DESIGN TO WOOD CREEK IMMEDIATELY
- 3. ALL FRAMING MATERIAL TO BE S.P.F. #2 OR BETTER WITH THE EXCEPTION OF WALL STUDS
- 4. CONCRETE FOOTINGS AND WALLS TO BE A MINIMUM 28MPA @28 DAYS. FLOOR SLABS AND SIDEWALKS TO BE MINIMUM 32MPA @ 28 DAYS.
- 5. ALL CONCRETE FOOTINGS TO BE PLACED ON ORIGINAL UNDISTURBED GROUND, FREE OF ALL ORGANIC, FROZEN OR FROSTY MATERIAL.
- 6. DAMP PROOF FOUNDATION WALLS BELOW GRADE WITH 2 COATS OF BITUMINOUS MATERIAL.
- 7. 6 MIL. ULTRAVIOLET RESISTANT POLY VAPOUR BARRIER ON A.) 4" OF GRANULAR COMPACTABLE FILL UNDER EXTERIOR OR GARAGE SLABS. OR B.) 4" OF $\frac{3}{4}$ " DRAIN ROCK OR OTHER MATERIAL SUITABLE FOR MOVEMENT OF RADON GAS UNDER INTERIOR SLABS.
- 8. ALL FOUNDATION DRAINS TO BE 4" PERFORATED P.V.C. WITH FILTER CLOTH AND MINIMUM 6" DRAIN ROCK, DRAINED TO MUNICPAL SERVICES ACCORDING TO LOCAL STANDARDS.
- 9. GRADE TO BE SLOPED AWAY FROM BUILDING AT ALL LOCATIONS ADJACENT TO BUILDING.
- 10. ALL TRUSSES I-JOISTS, BEAMS OR OTHER STRUCTURAL MEMBERS NOT COVERED IN B.C. BUILDING CODE TO BE DESIGNED AND ENGINEERED BY TRUSS MANUFACTURER OR STRUCTURAL ENGINEER PRIOR TO ANY FABRICATION.
- 11. CONTRACTOR TO VERIFY ALL PROPERTY AND FOUNDATION LINES WITH A LEGAL LAND SURVEYOR PRIOR TO PLACING FOOTINGS OR RUNNING SERVICES WITHIN BUILDING ENVELOPE.
- 12. ALL ROOF SPACES TO BE VENTILATED WITH SOFFIT AND ROOF VENTS WITH A MINIMUM DISTRIBUTION AREA OF 1/300. A MINIMUM OF 25% OF VENTS TO BE LOCATED AT ROOF. MINIMUM 25% TO BE LOCATED AT SOFFIT.
- 13. DOOR FRAMES AT ENTRANCES AND EXTERIOR SPACES TO DWELLING UNITS SHALL BE SOLIDLY BLOCKED BETWEEN DOOR FRAME AND STUDS AT THE HEIGHT OF THE DEADBOLT TO RESIST SPREADING.
- 14. ALL GLASS IN DOORS, SIDELITES OR WINDOWS WITHIN 12" OF FINISHED FLOOR TO BE CONSTRUCTED OF SAFETY GLASS.
- 15. RAIN WATER LEADERS NOT SHOWN ON PLAN . CONTRACTOR TO DETERMINE EXACT LOCATION SUITABLE TO SITE AND MUNICIPAL DRAINAGE.
- 16. ELECTRICAL LOCATIONS TO BE DETERMINED BY ELECTRICAL CONTRACTOR WITH THE APPROVAL OF THE HOME OWNER OR GENERAL CONTRACTOR AND IN ACCORDANCE WITH CURRENT ELECTRICAL CODE.
- 17. APPROVED SMOKE ALARMS TO BE INSTALLED WITH LOCATION APPROVED BY APPROPRIATE LOCAL MUNICIPALITY.
- 18. REFER TO LAOUTS AND SPECIFICATIONS FROM STRUCTURAL ENGINEER, FLOOR JOIST SUPPLIER, AND ROOF TRUSS MANUFACTURER FOR BEAM, POST, FOOTING LOCATIONS AND SIZES. ENSURE PROPER BEARING IS PROVIDED FOR ALL POINT LOADS. ANY STRUCTURAL SPECIFICATIONS SHOWN ON WOOD CREEK PLANS ARE ESTIMATES ONLY AND MAY NOT ACCURATELY REPRESENT LOADING AND SIZING, OR MAY NOT INCLUDE POINT LOADS OR STRUCTURAL MEMBERS DESIGNED BY OTHERS.

CONDITIONS AS REQUIRED

DO NOT SCALE DRAWINGS. WRITTEN
DIMENSIONS SHALL TAKE PRECEDENCE
THIS DRAWING IS THE PROPERTY OF
WOOD CREEK CONSTRUCTION AND MA
BE USED ONLY FOR THE PURPOSE FO
WHICH IT IS LOANED BY THE COMPANY

1	JULY 18/22	GRADING CHANGE
2	JULY 21/22	GARAGE MAN DOOR & SIDING
3	SEPT 6/22	GARAGE DOOR SIZE
4	SEPT 12/22	DIMENSION CHECK
NO.	DATE	DESCRIPTION
REVIS	SIONS	



CIVIC ADDRESS

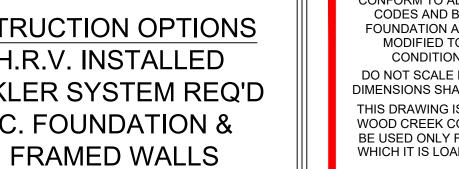
1490 21 Street NE

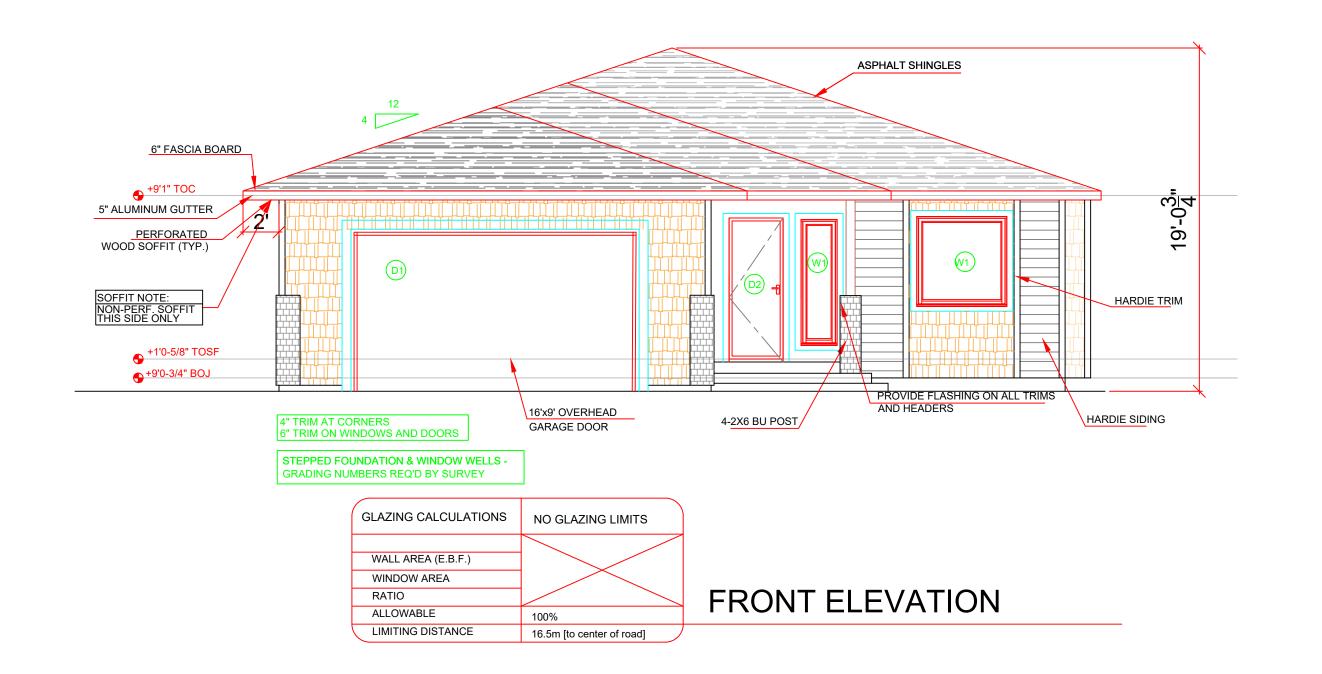
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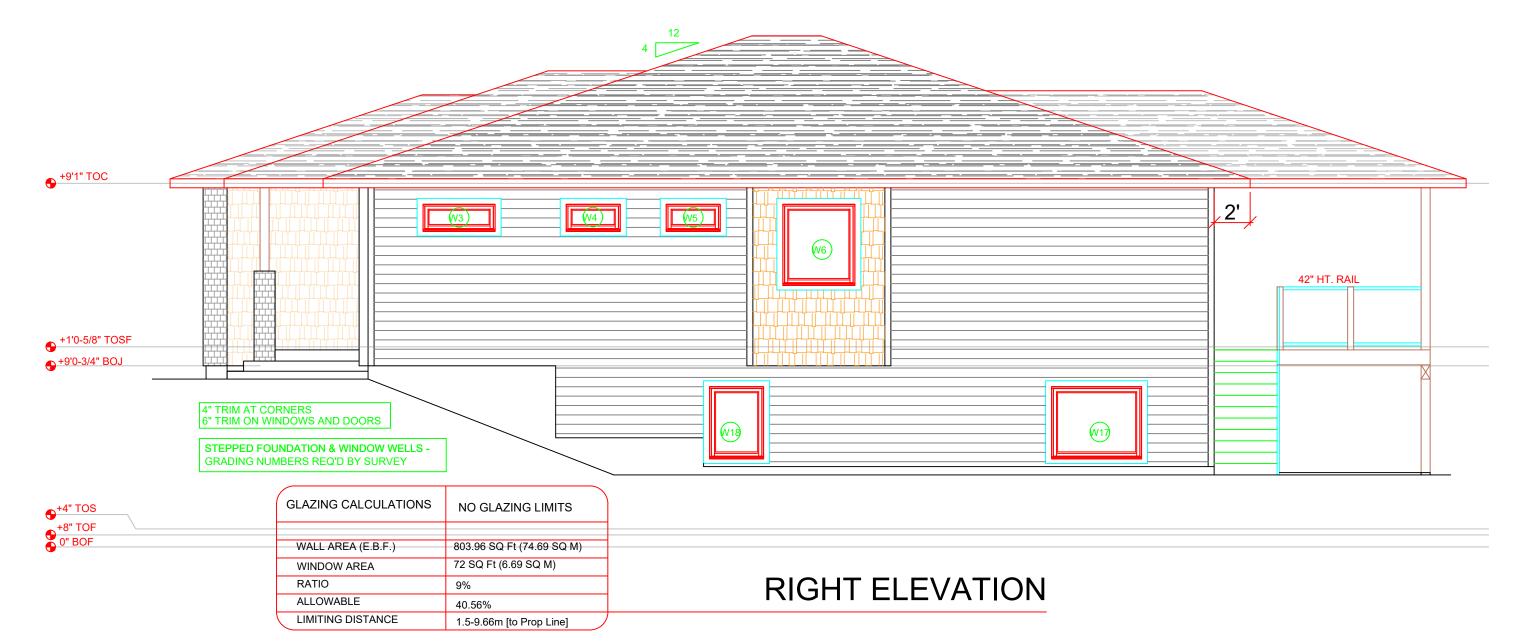
SITE PLAN &
GENERAL
NOTES

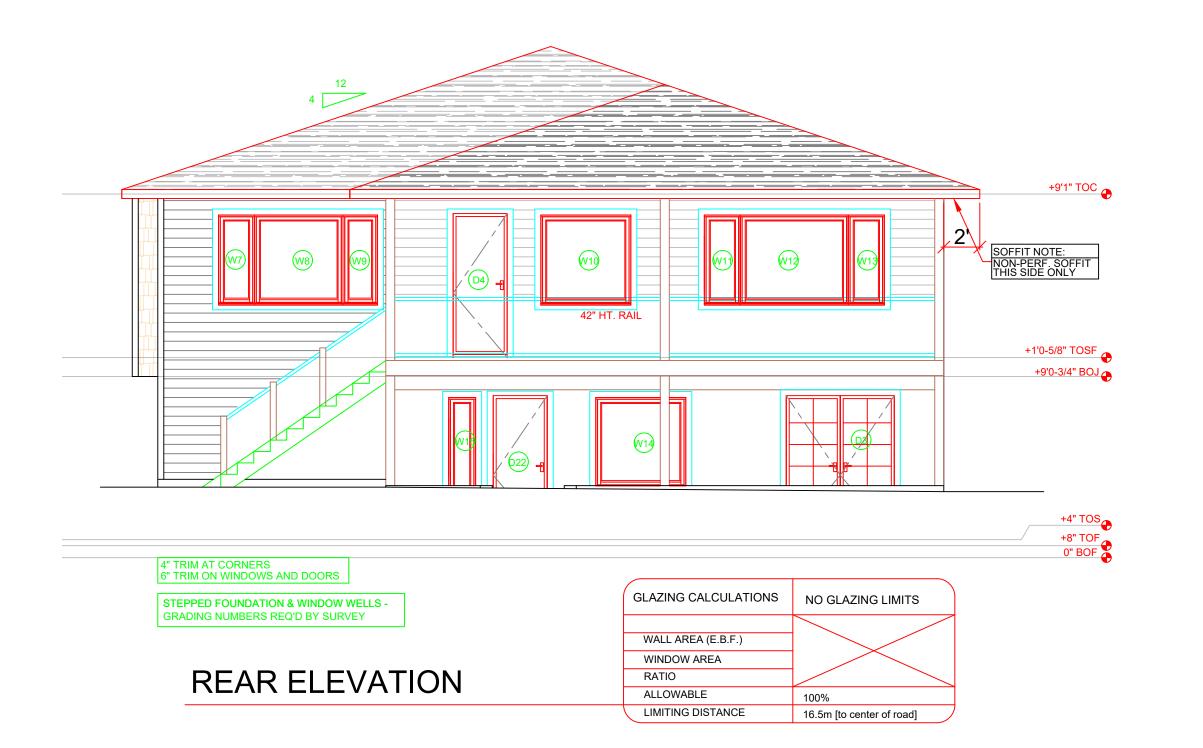
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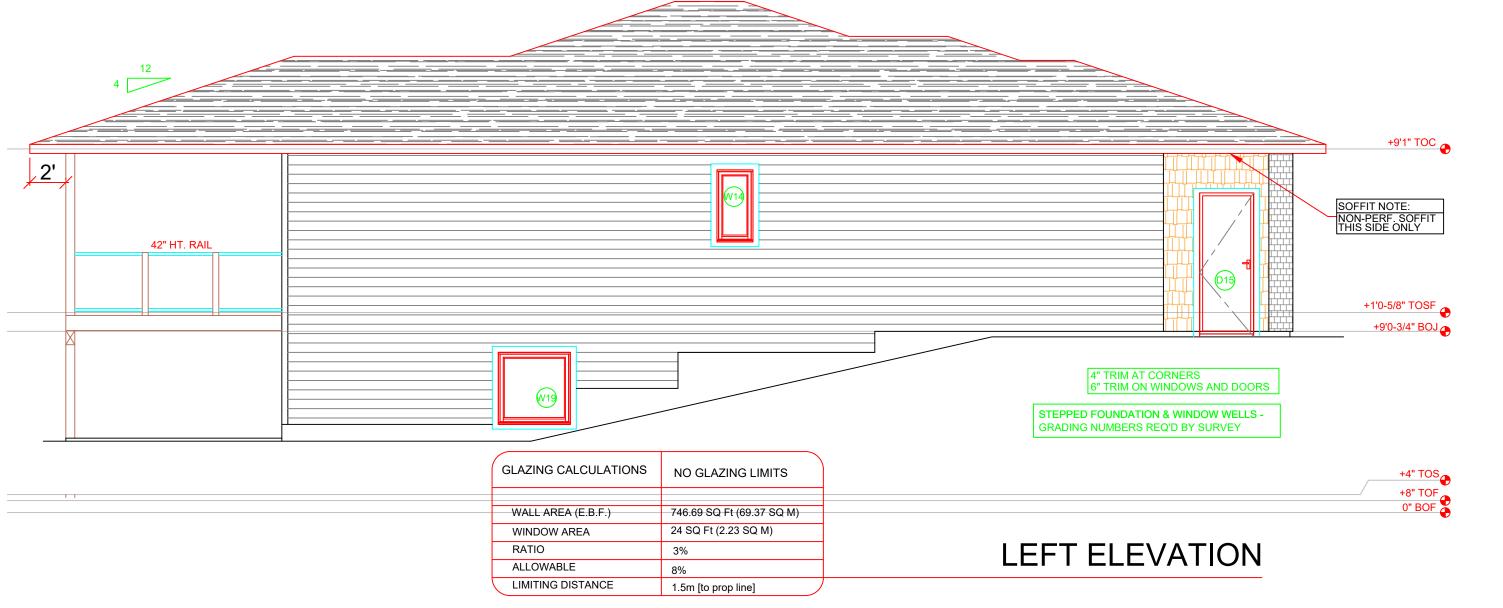
CONSTRUCTION OPTIONS NO H.R.V. INSTALLED SPRINKLER SYSTEM REQ'D CONC. FOUNDATION & FRAMED WALLS











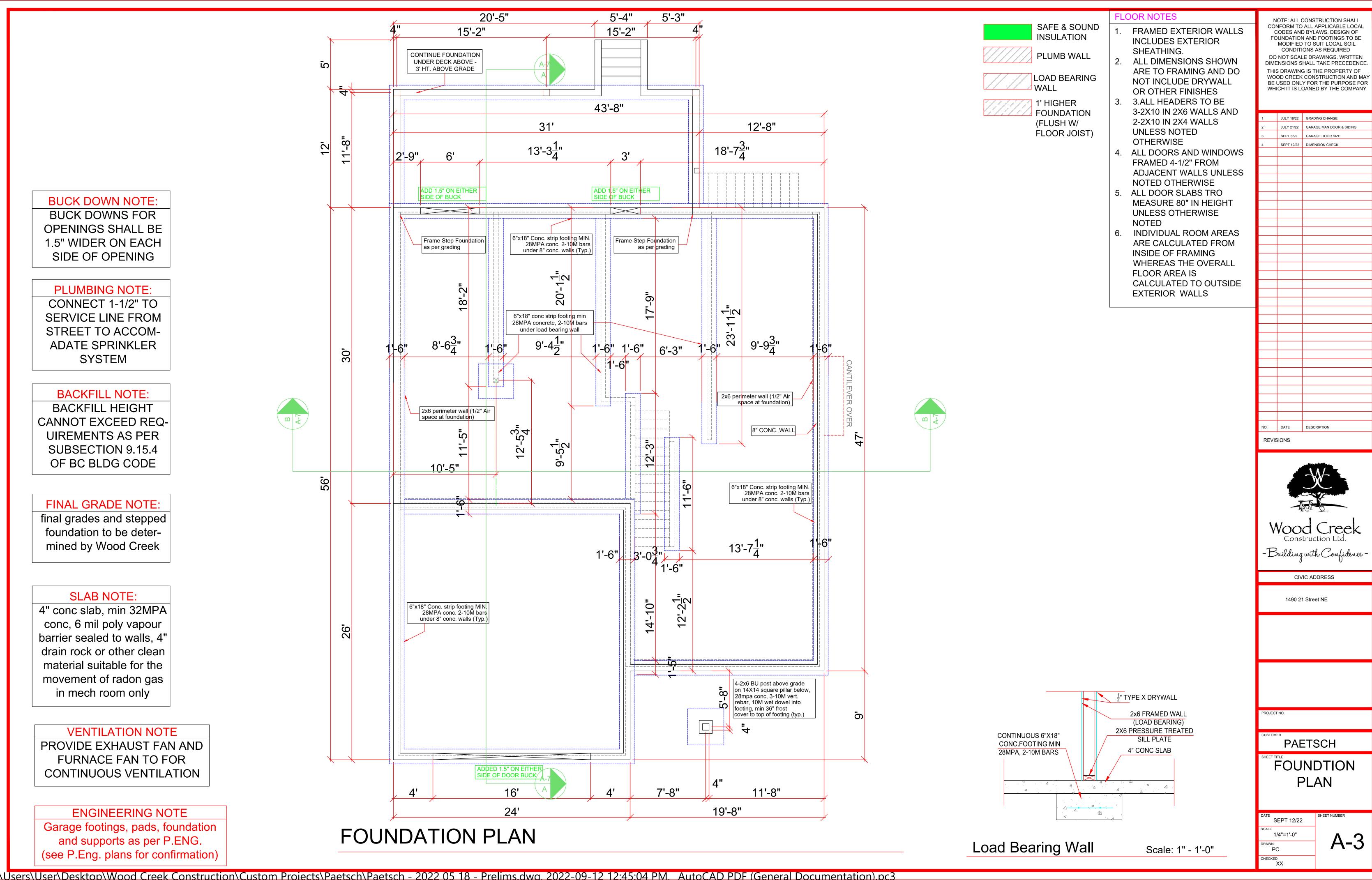
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	Wood Creek Construction LtdBuilding with Confidence- CIVIC ADDRESS				
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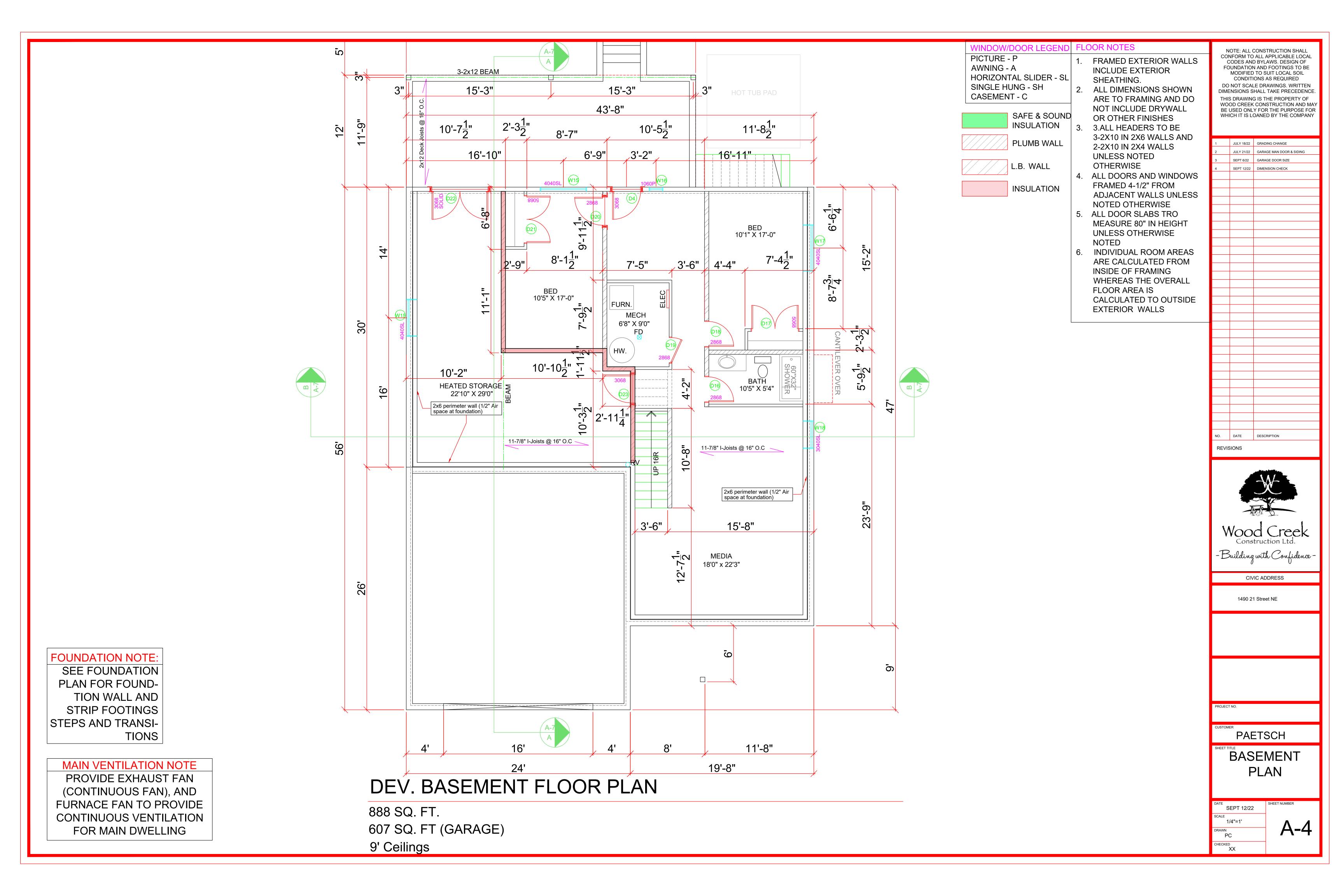
SEPT 12/22

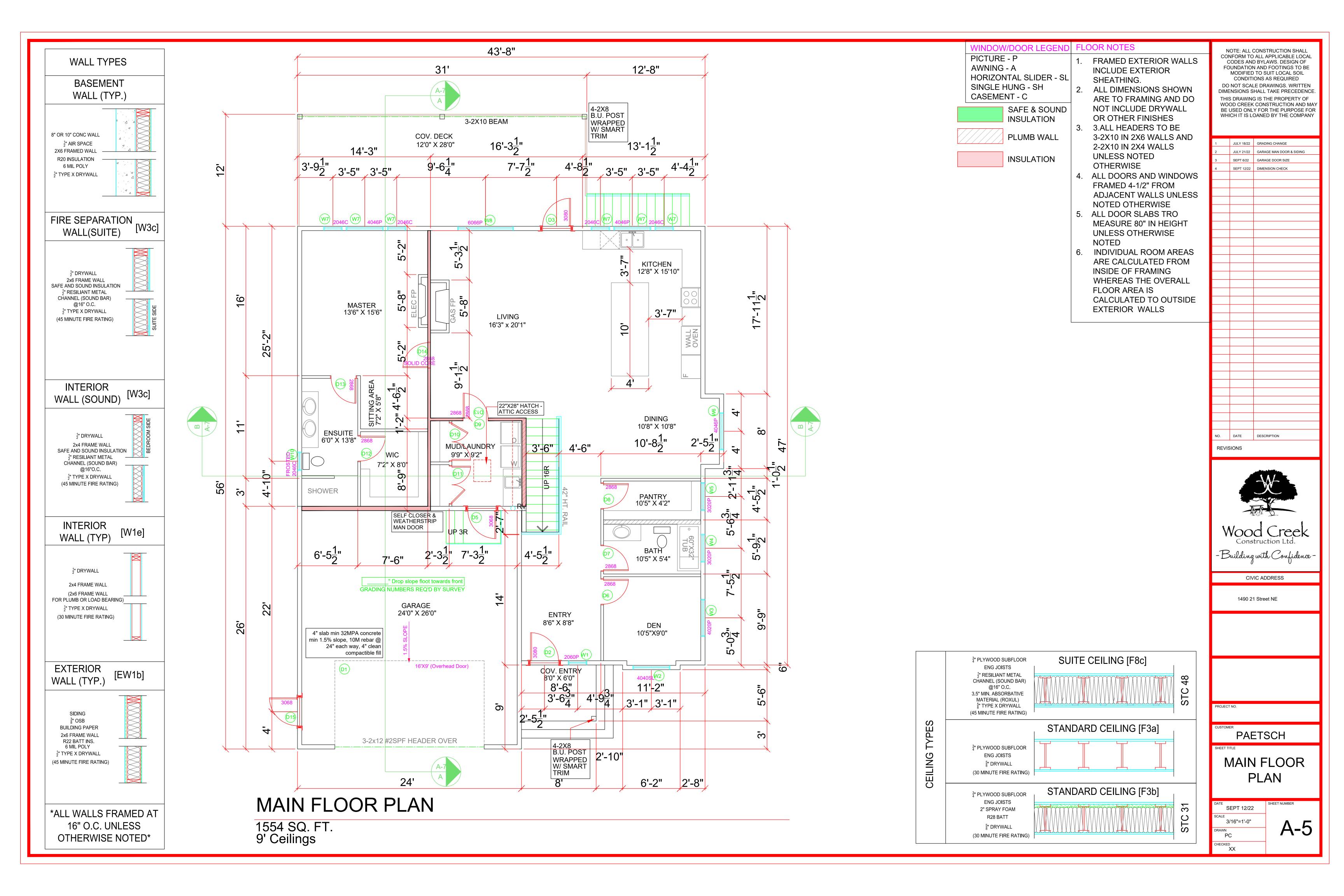
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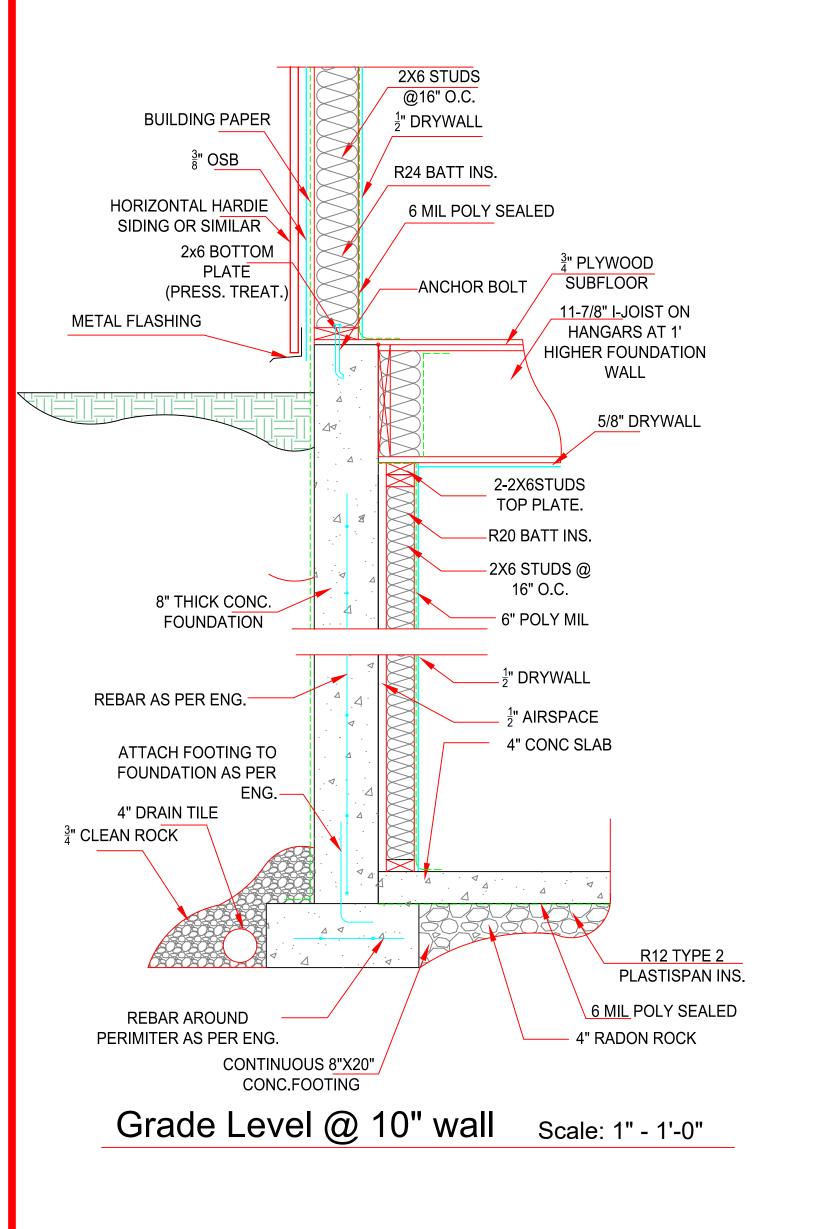
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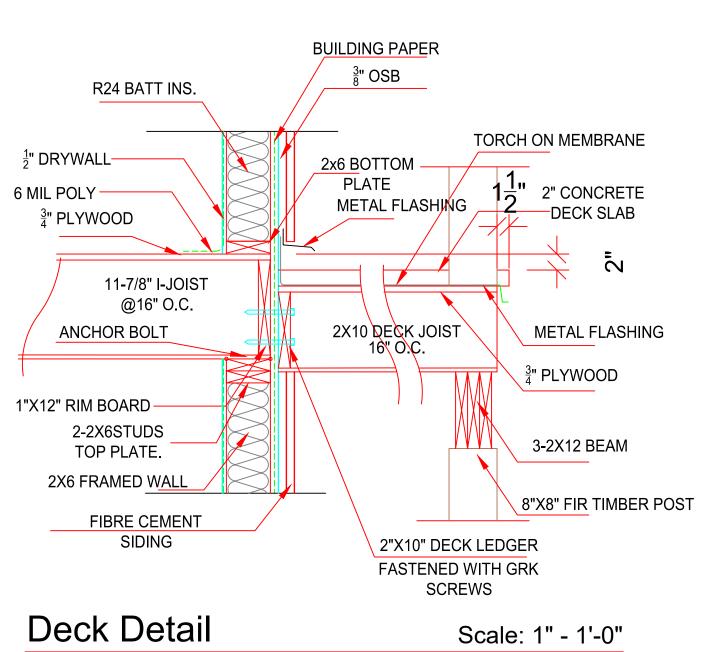
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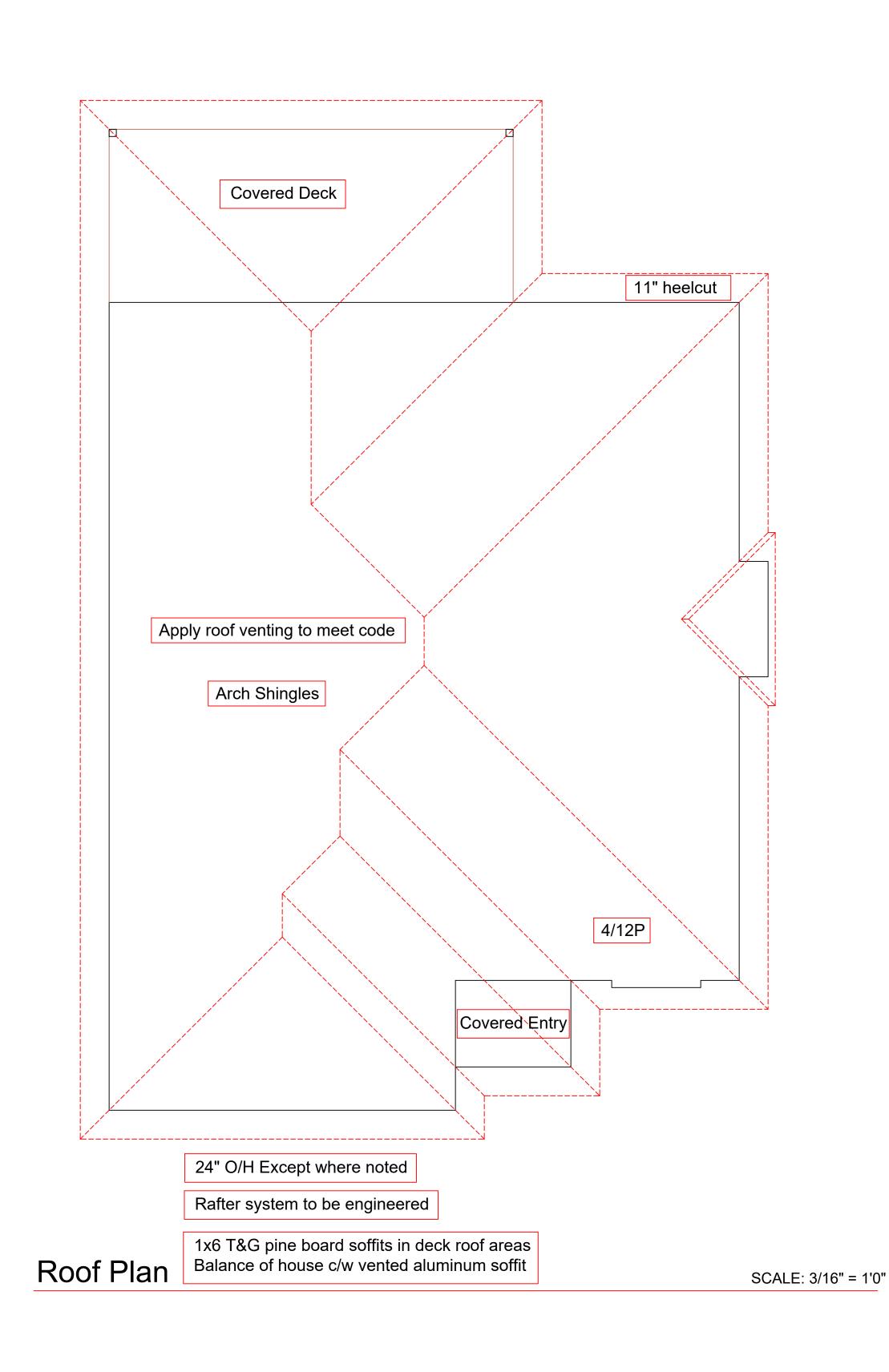


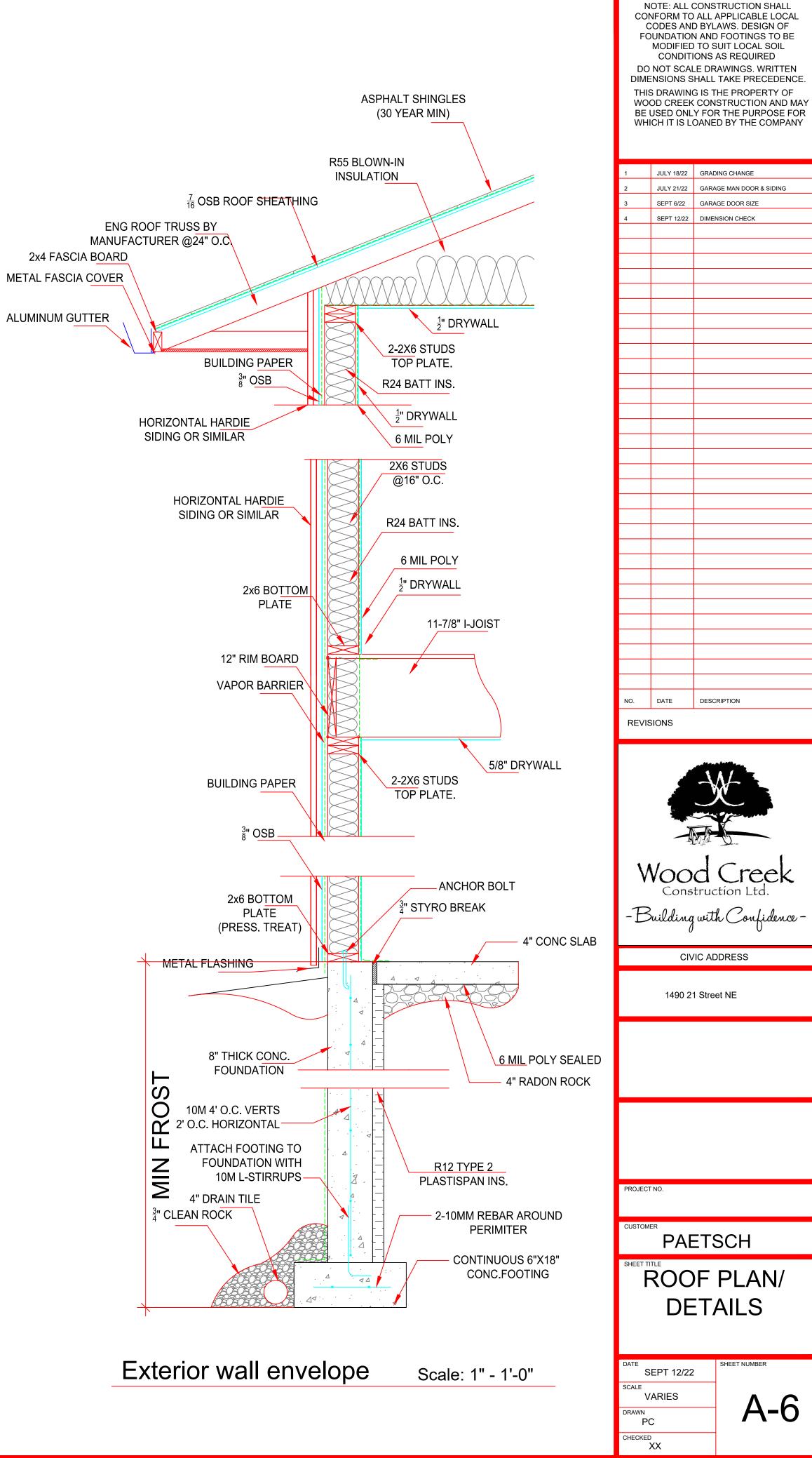




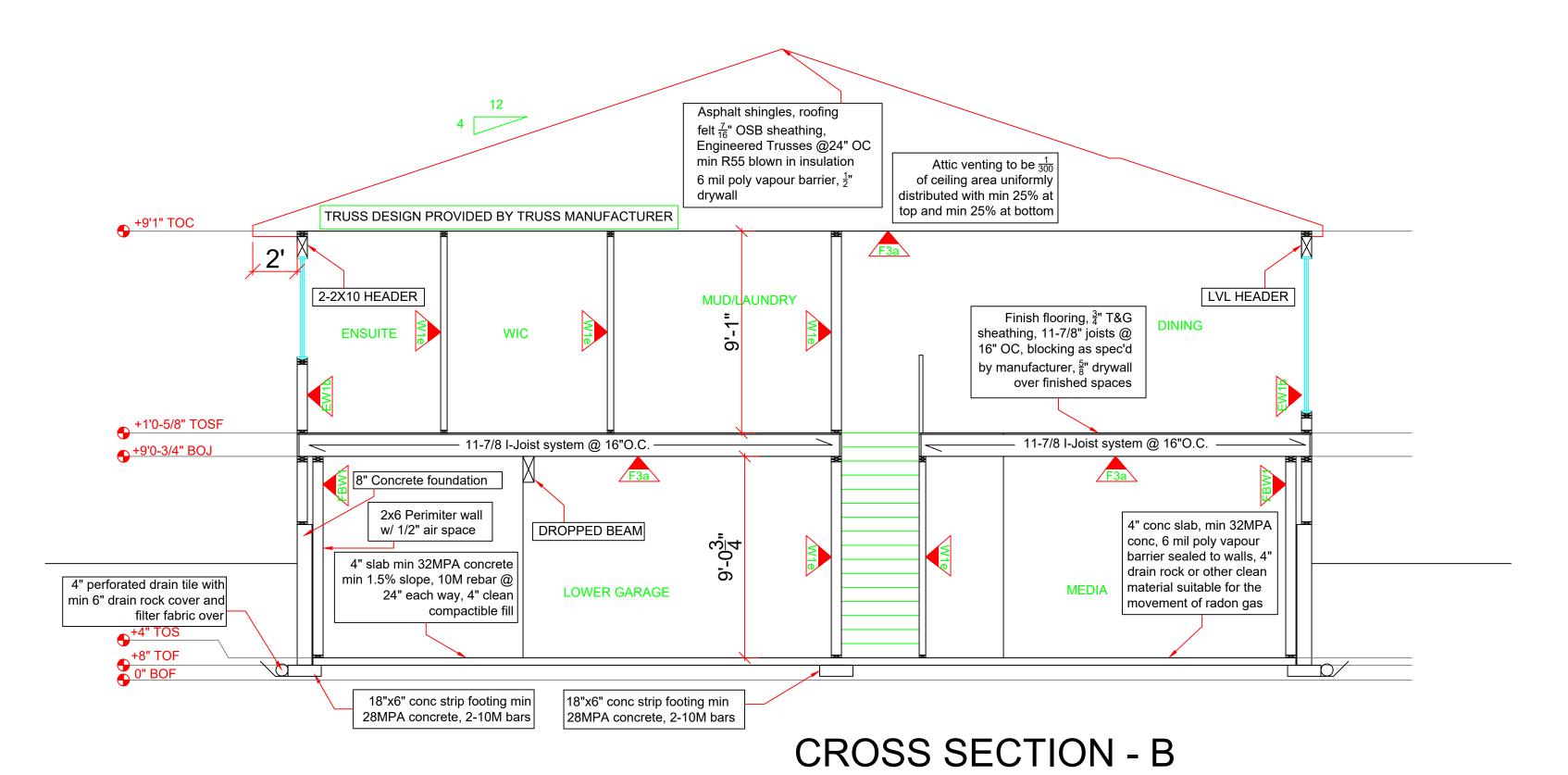








A-6



	WINDOW SCHEDULE						
	MARK		SASH OPERATION	RO WIDTH [+1/8"]	RO HEIGHT [+1/8"]	COMMENTS	
W	1	2060	PICTURE	2′0″	6′0″		
W	2	4040	SLIDER	4′0″	4′0″		
W	3	4020	PICTURE	4′0″	2′0″		
W	4	3020	PICTURE	3′0″	2′0″		
W	5	3020	PICTURE	3′0″	2′0″		
W	6	4046	SLIDER	4′0″	4′6″		
W	7	2046	CASEMENT	2′0″	4′6″		
W	8	4046	PICTURE	4′0″	4′6″		
W	9	2046	CASEMENT	2′0″	4′6″		
W	10	6066	PICTURE	6′0″	6′6″		
W	11	2046	CASEMENT	2′0″	4′6″		
W	12	4040	PICTURE	4′0″	4′0″		
W	13	2046	CASEMENT	2′0″	4′6″		
W	14	2046	CASEMENT	2′0″	4′6″		
W	15	4040	SLIDER	4′0″	4′0″		
W	16	1660	PICTURE	1′6″	1′6″		
W	17	4040	SLIDER	4′0″	4′0″		
W	18	3040	SLIDER	3′0″	3′0″		
W	19	4040	SLIDER	4′0″	4′0″		

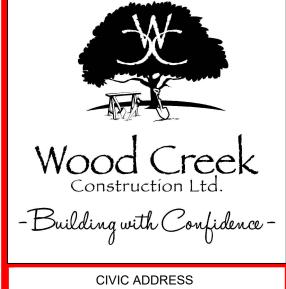
4 12	Asphalt shingles, roofing felt $\frac{7}{16}$ " OSB sheathing, Engineered Trusses @24" OC min R55 blown in insulation 6 mil poly vapour barrier, $\frac{1}{2}$ " drywall Attic venting to be $\frac{1}{300}$ of ceiling area uniformly distributed with min 25% at top and min 25% at bottom	TRUSS DESIGN PROVIDED BY TRUSS MANUFACTURER	+9'1" TOC →
3-2X12 BEAM 3'0" HT. RETAINING WALL AROUND ENCLOSED PATIO. 2X6 POSTS TO SIT ON RETAINING WALL COUNTY OF THE PROPERTY OF THE PARTY OF	Finish flooring, ³ / ₄ " T&G sheathing, 11-7/8" joists @ 16" OC, blocking as spec'd by manufacturer, ⁵ / ₈ " drywall over finished spaces 11-7/8 I-Joist sytem @ 16"O.C. 4" conc slab, min 32MPA conc, 6 mil poly vapour barrier sealed to walls, 4" drain rock or other clean material suitable for the movement of radon gas Sand Clay F3a F6a PRIMARY 1-7- 50 LOWER GARAGE	WIC GARAGE 4" slab min 32MPA concrete min 1.5% slope, 10M rebar @ 24" each way, 4" clean compactible fill SLAB GRADE DETERMINED BY GRADING NUMBERS REQ'D BY SURVEY 4" perforated drain tile with min 6" drain rock cover and filter fabric over	
Z Z Z Z Z Z Z Z Z Z Z Z Z Z Z Z Z Z Z	18"x6" conc strip footing min 28MPA concrete, 2-10M bars	CROSS SECTION - A	

			DOOR S	CHEDUL	E		
	MARK		DOOR OPERATION	RO WIDTH [+2"]	RO HEIGHT	SIDE LITES	LOCATION
D	1	16080	OVERHEAD DOOR	16′0″	8′0″		GARAGE
D	2	3080	SWING SIMPLE	3′0″	8′0″		ENTRY
D	3	3080	SWING SIMPLE	3′0″	8′0 ″		C□V. DECK
D	4	3068	SWING SIMPLE	3′0″	6′11″		LOWER PATIO
D	5	3068	SWING SIMPLE	3′0″	6′11″		GARAGE/MUD
D	6	2868	SWING SIMPLE	2′8″	6′11″		DEN
D	7	2868	SWING SIMPLE	2′8″	6′11″		BATH
D	8	2868	SWING SIMPLE	2′8″	6′11″		PANTRY
D	9	2868	BARN	2′8″	6′11″		LAUNDRY
D	10	4068	SWING BI-PART	4′0″	6′11″		MUD CLOSET
D	11	4068	SWING SIMPLE	4′0″	6′11″		MUD CLOSET
D	12	2868	SWING SIMPLE	2′8″	6′11″		WIC
D	13	2868	SWING SIMPLE	2′8″	6′11″		ENSUITE
D	14	2868	SWING SIMPLE	2′8″	6′11″		PRIMARY BED
D	15	3068	SWING SIMPLE	3′0″	6′11″		GARAGE MAN DOOR
D	16	2868	SWING SIMPLE		6′11″		BASEMENT BATH
D	17	5068	SWING BI-PART	5′0″	6′11″		BASEMENT BED :
D	18	2868	SWING SIMPLE	2′8″	6′11″		BASEMENT BED : CLOSET
D	19		SWING SIMPLE	2′8″	6′11″		MECH
D	20		SWING SIMPLE	2′8″	6′11″		BASEMENT BED 2
D	21		SWING BI-PART	5′0″	6′11″		BASEMENT BED 2 CLOSET
D	22	6068	SWING SIMPLE	6′0″	6′11″		HEATED STORAGE
D	23	2868	SWING SIMPLE	2′8″	6′11″		WALKTHROUGH

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1490 21 Street NE

PAETSCH

SECTIONS

DATE SEPT 12/22 A-7 DRAWN PC CHECKED XX