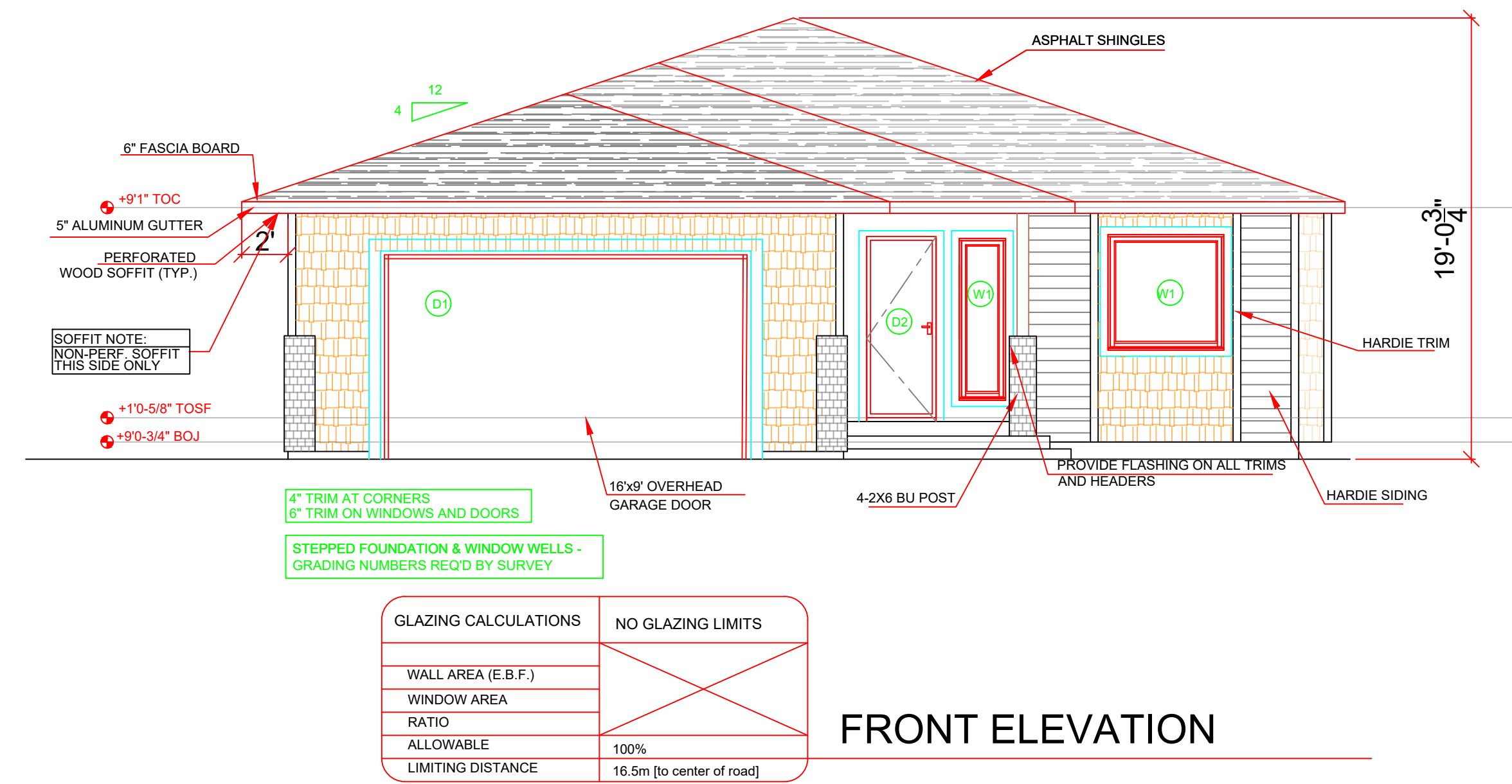


CONSTRUCTION OPTIONS
NO H.R.V. INSTALLED
SPRINKLER SYSTEM REQ'D
CONC. FOUNDATION &
FRAMED WALLS

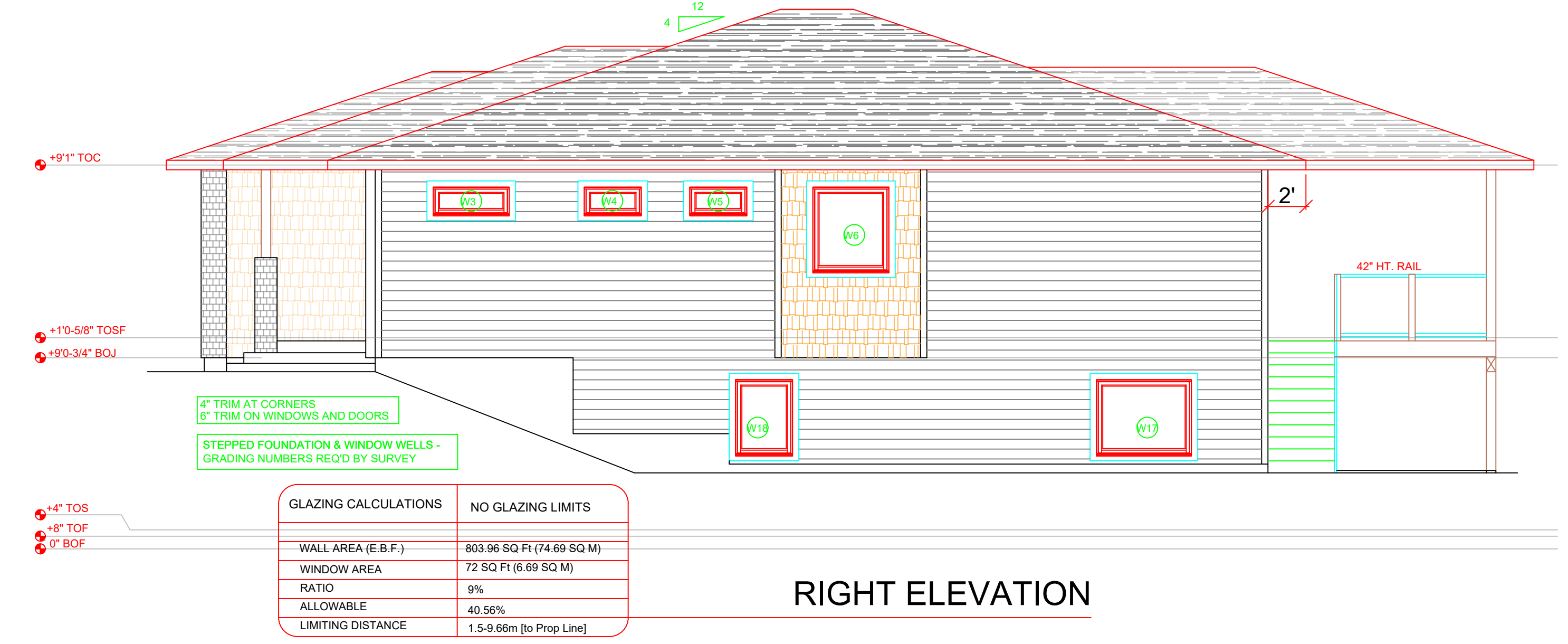
NOTE: ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL CODES AND BYLAWS. DESIGN OF FOUNDATION AND FOOTINGS TO BE MODIFIED TO SUIT LOCAL SOIL CONDITIONS AS REQUIRED.
 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE. THIS DRAWING IS THE PROPERTY OF WOOD CREEK CONSTRUCTION AND MAY BE USED ONLY FOR THE PURPOSE FOR WHICH IT IS LOANED BY THE COMPANY

1	JULY 18/22	GRADING CHANGE
2	JULY 21/22	GARAGE MAN DOOR & SIDING
3	SEPT 6/22	GARAGE DOOR SIZE
4	SEPT 12/22	DIMENSION CHECK



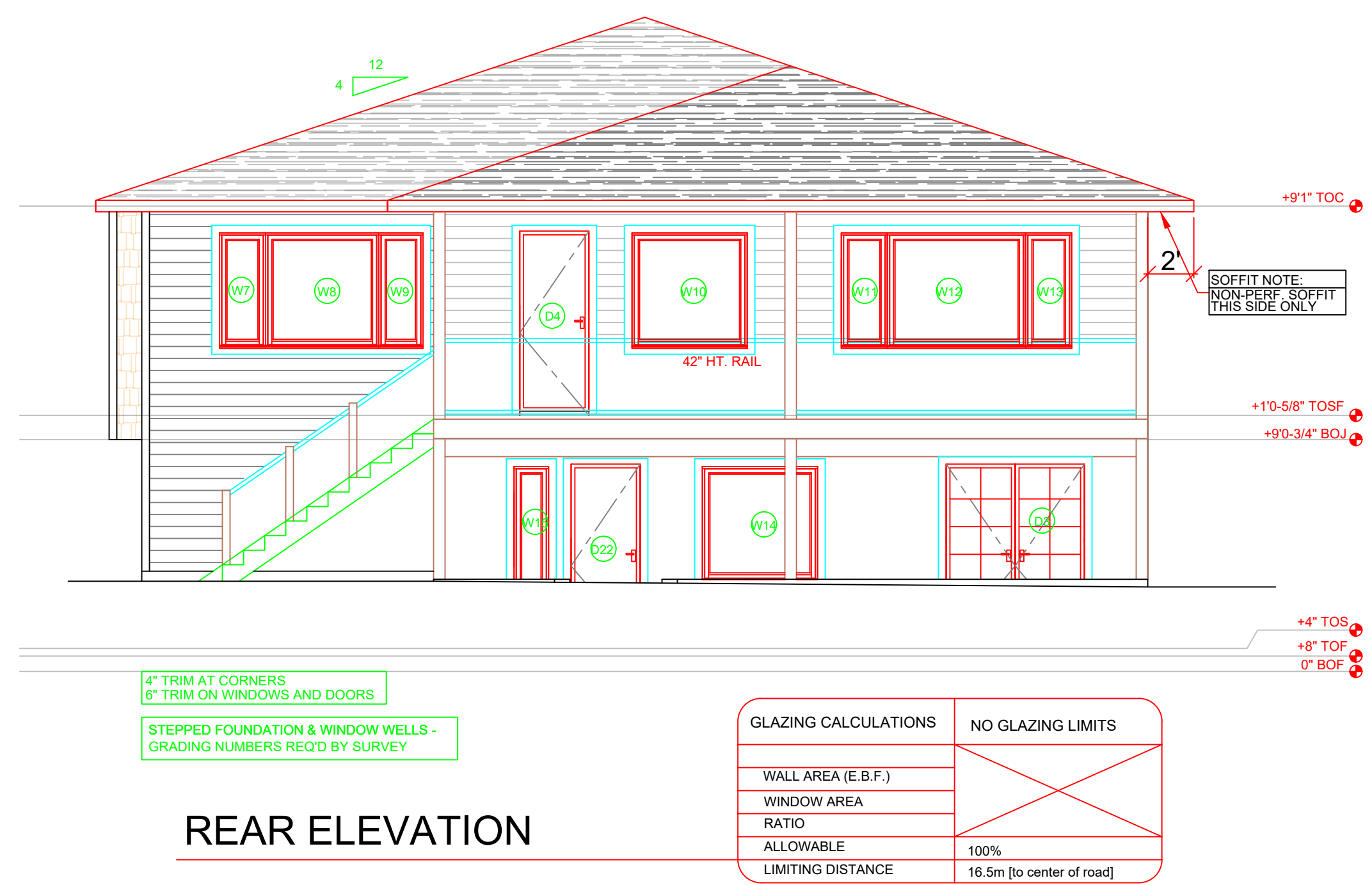
GLAZING CALCULATIONS	NO GLAZING LIMITS
WALL AREA (E.B.F.)	
WINDOW AREA	
RATIO	
ALLOWABLE	100%
LIMITING DISTANCE	16.5m [to center of road]

FRONT ELEVATION



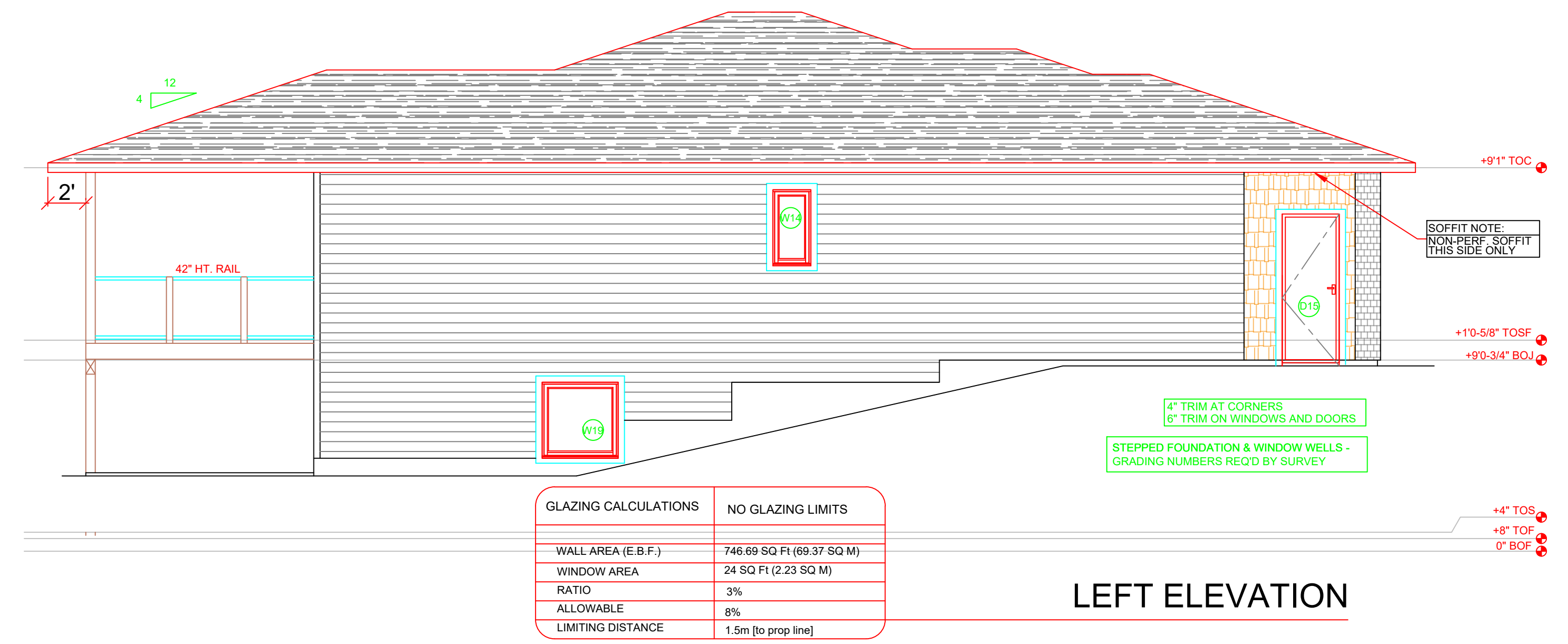
GLAZING CALCULATIONS	NO GLAZING LIMITS
WALL AREA (E.B.F.)	803.96 SQ FT (74.69 SQ M)
WINDOW AREA	72 SQ FT (6.69 SQ M)
RATIO	9%
ALLOWABLE	40.56%
LIMITING DISTANCE	1.5-9.66m [to Prop Line]

RIGHT ELEVATION



GLAZING CALCULATIONS	NO GLAZING LIMITS
WALL AREA (E.B.F.)	
WINDOW AREA	
RATIO	
ALLOWABLE	100%
LIMITING DISTANCE	16.5m [to center of road]

REAR ELEVATION



GLAZING CALCULATIONS	NO GLAZING LIMITS
WALL AREA (E.B.F.)	746.69 SQ FT (69.37 SQ M)
WINDOW AREA	24 SQ FT (2.23 SQ M)
RATIO	3%
ALLOWABLE	8%
LIMITING DISTANCE	1.5m [to prop line]

LEFT ELEVATION

NO.	DATE	DESCRIPTION
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REVISIONS

CIVIC ADDRESS

1490 21 Street NE

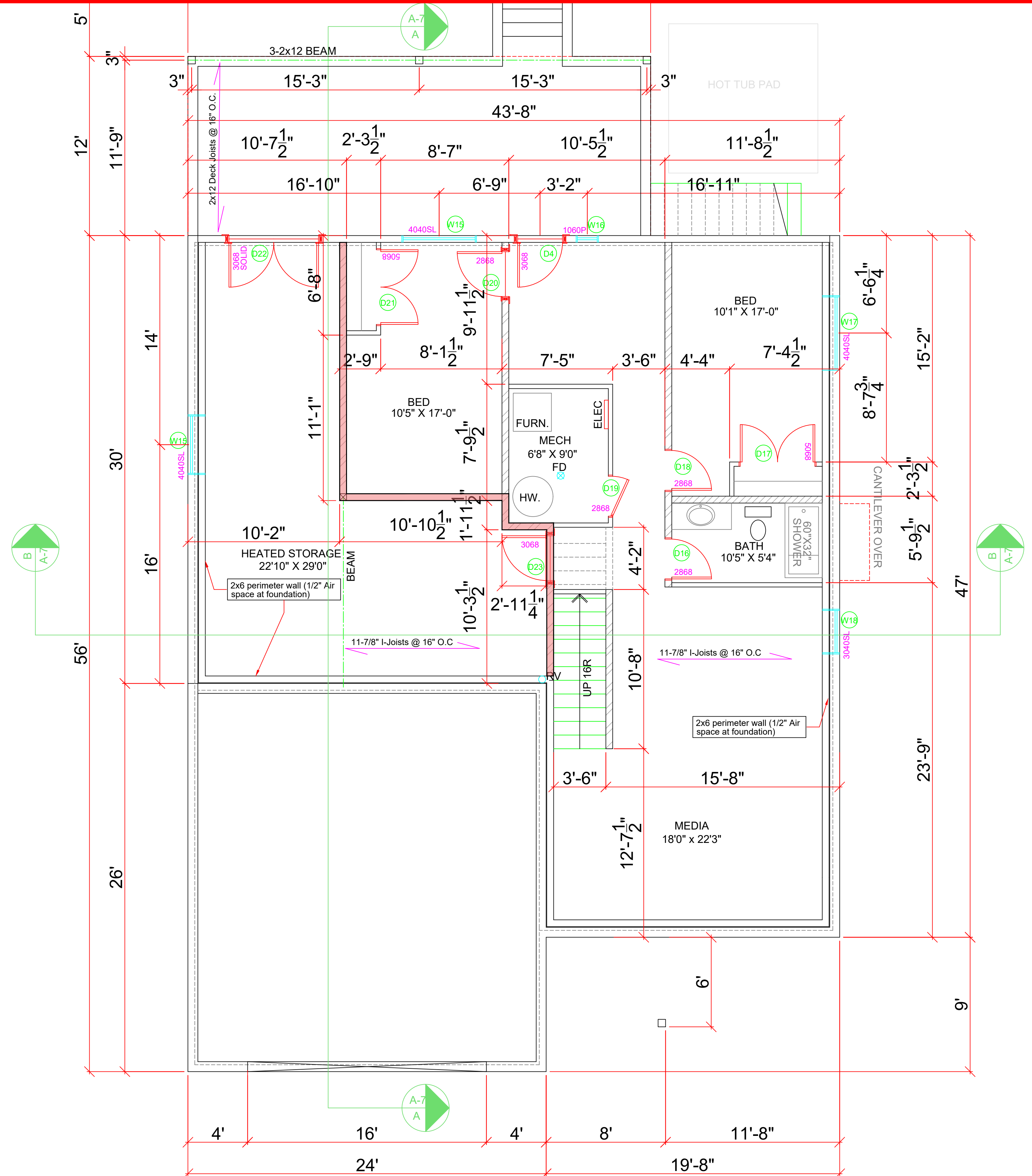
PROJECT NO.

CUSTOMER
PAETSCH

SHEET TITLE

ELEVATIONS

DATE	SEPT 12/22	SHEET NUMBER	A-2
SCALE	3/16"=1"		
DRAWN	PC		
CHECKED	XX		



WINDOW/DOOR LEGEND

PICTURE - P
 AWNING - A
 HORIZONTAL SLIDER - SL
 SINGLE HUNG - SH
 CASEMENT - C

SAFE & SOUND INSULATION
 PLUMB WALL
 L.B. WALL
 INSULATION

- FLOOR NOTES**
1. FRAMED EXTERIOR WALLS INCLUDE EXTERIOR SHEATHING.
 2. ALL DIMENSIONS SHOWN ARE TO FRAMING AND DO NOT INCLUDE DRYWALL OR OTHER FINISHES
 3. ALL HEADERS TO BE 3-2X10 IN 2X6 WALLS AND 2-2X10 IN 2X4 WALLS UNLESS NOTED OTHERWISE
 4. ALL DOORS AND WINDOWS FRAMED 4-1/2" FROM ADJACENT WALLS UNLESS NOTED OTHERWISE
 5. ALL DOOR SLABS TRO MEASURE 80" IN HEIGHT UNLESS OTHERWISE NOTED
 6. INDIVIDUAL ROOM AREAS ARE CALCULATED FROM INSIDE OF FRAMING WHEREAS THE OVERALL FLOOR AREA IS CALCULATED TO OUTSIDE EXTERIOR WALLS

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NO.	DATE	DESCRIPTION
1	JULY 18/22	GRADING CHANGE
2	JULY 21/22	GARAGE MAIN DOOR & SIDING
3	SEPT 6/22	GARAGE DOOR SIZE
4	SEPT 12/22	DIMENSION CHECK

NO.	DATE	DESCRIPTION



CIVIC ADDRESS
 1490 21 Street NE

PROJECT NO.
 CUSTOMER
PAETSCH
 SHEET TITLE
BASEMENT PLAN

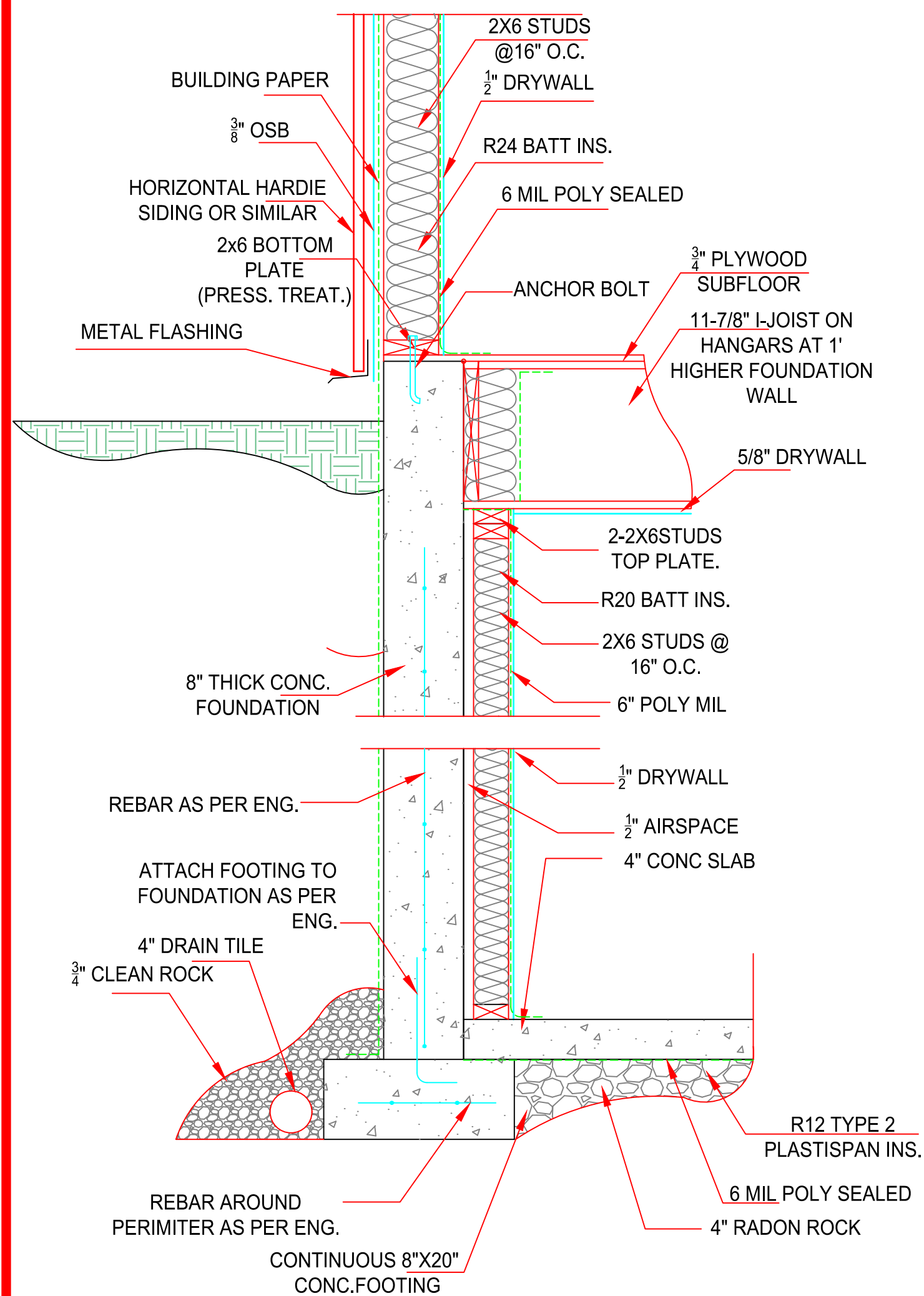
DATE
 SEPT 12/22
 SCALE
 1/4"=1'
 DRAWN
 PC
 CHECKED
 XX
 SHEET NUMBER
A-4

FOUNDATION NOTE:
 SEE FOUNDATION PLAN FOR FOUNDATION WALL AND STRIP FOOTINGS STEPS AND TRANSITIONS

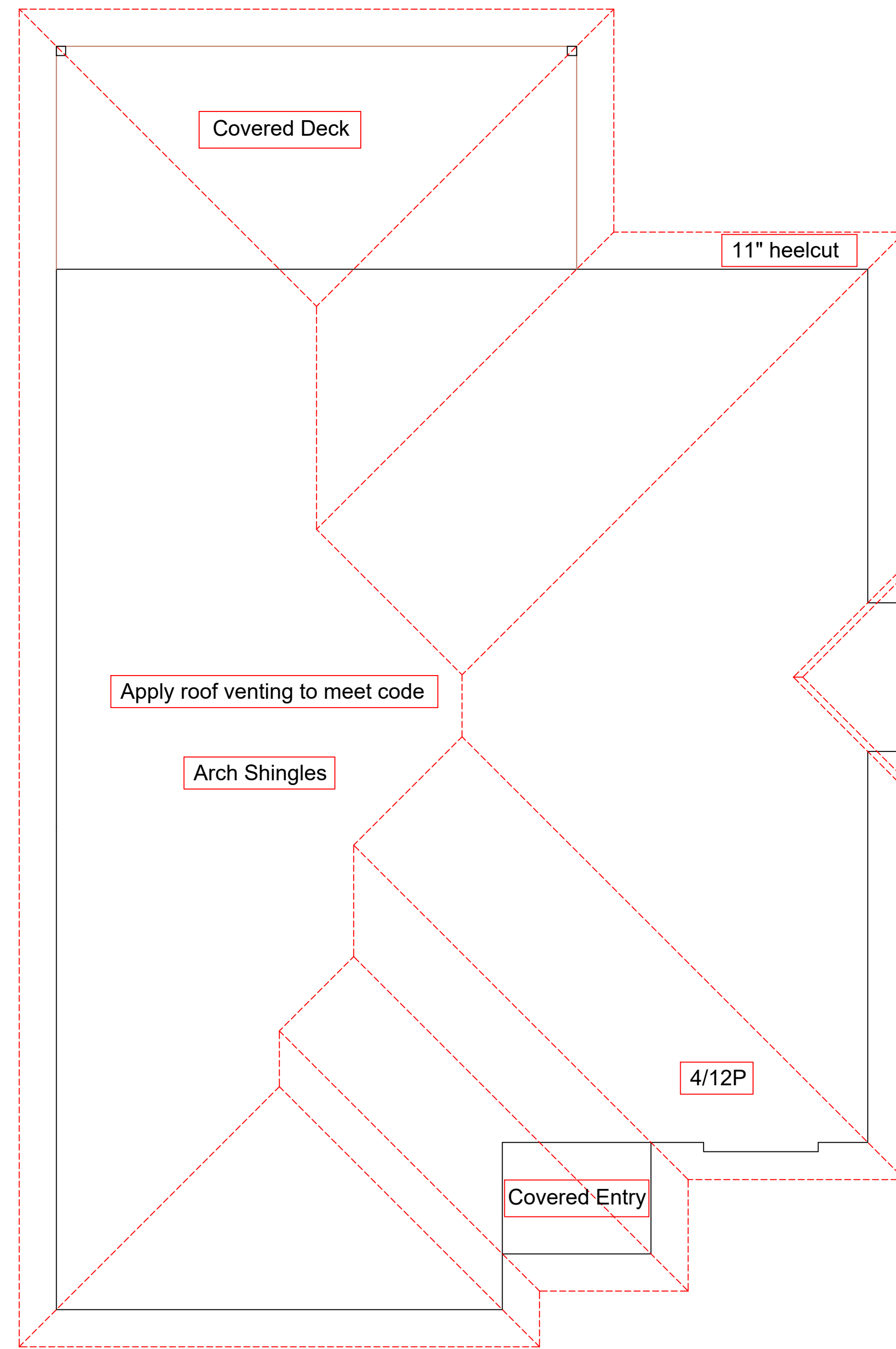
MAIN VENTILATION NOTE
 PROVIDE EXHAUST FAN (CONTINUOUS FAN), AND FURNACE FAN TO PROVIDE CONTINUOUS VENTILATION FOR MAIN DWELLING

DEV. BASEMENT FLOOR PLAN

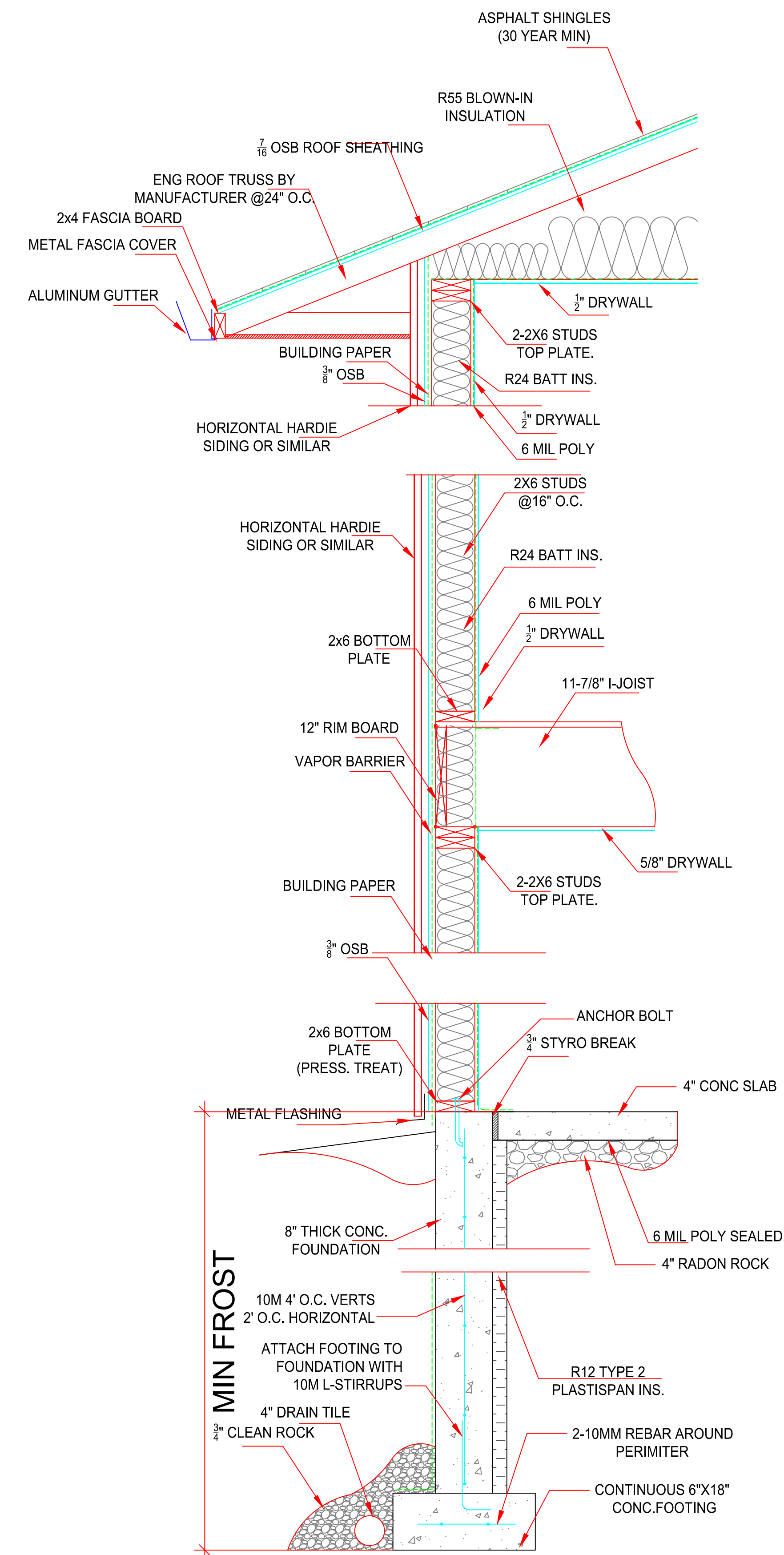
888 SQ. FT.
 607 SQ. FT (GARAGE)
 9' Ceilings



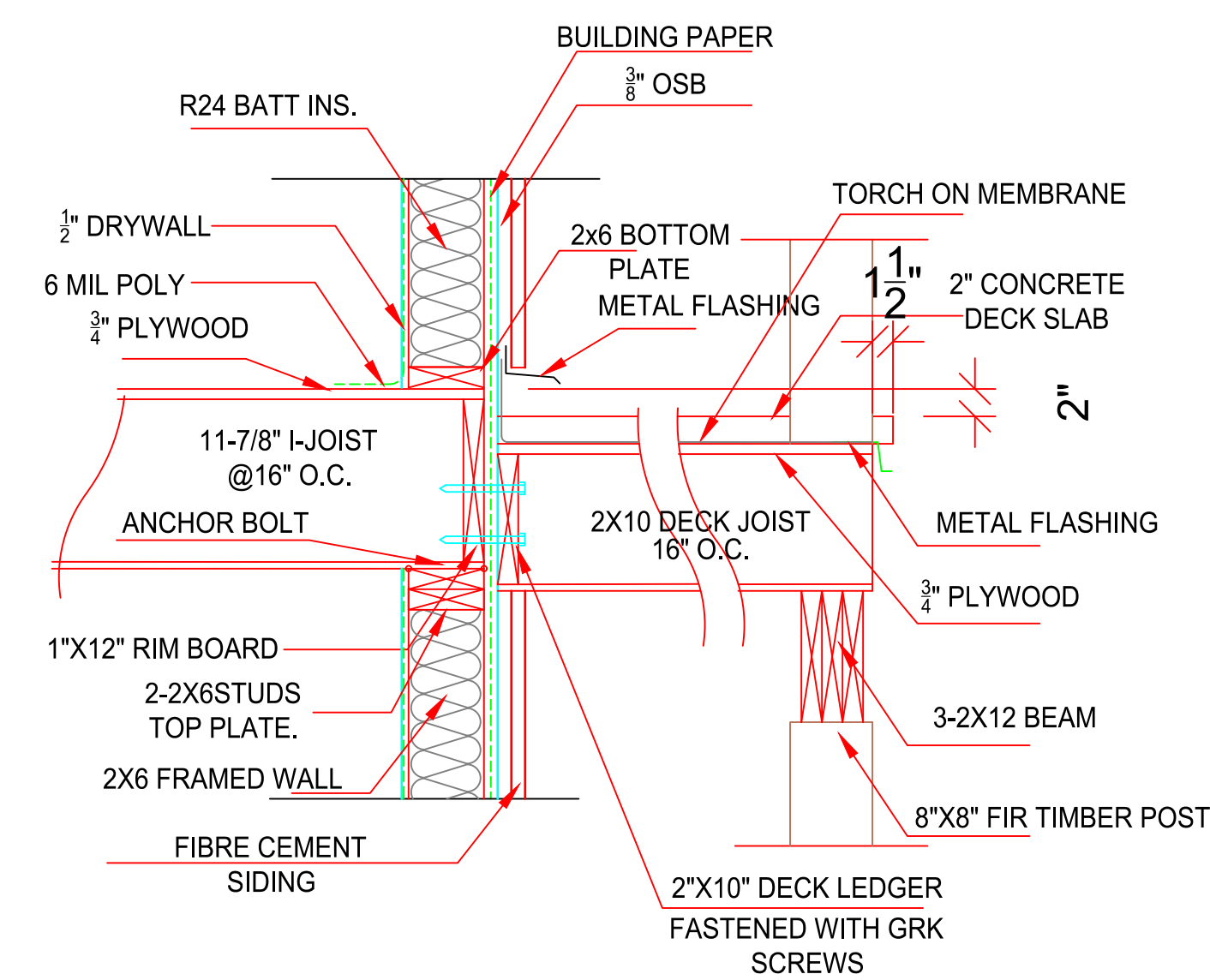
Grade Level @ 10" wall Scale: 1" = 1'-0"



Roof Plan SCALE: 3/16" = 1'0"
 24" O/H Except where noted
 Rafter system to be engineered
 1x6 T&G pine board soffits in deck roof areas
 Balance of house c/w vented aluminum soffit



Exterior wall envelope Scale: 1" = 1'-0"



Deck Detail Scale: 1" = 1'-0"

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1	JULY 18/22	GRADING CHANGE
2	JULY 21/22	GARAGE MAN DOOR & SIDING
3	SEPT 6/22	GARAGE DOOR SIZE
4	SEPT 12/22	DIMENSION CHECK

NO.	DATE	DESCRIPTION

REVISIONS

Wood Creek
 Construction Ltd.
Building with Confidence

CIVIC ADDRESS

1490 21 Street NE

PROJECT NO.

CUSTOMER
PAETSCH

SHEET TITLE
**ROOF PLAN/
 DETAILS**

DATE	SEPT 12/22	SHEET NUMBER	A-6
SCALE	VARIES		
DRAWN	PC		
CHECKED	XX		

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1	JULY 18/22	GRADING CHANGE
2	JULY 21/22	GARAGE MAN DOOR & SIDING
3	SEPT 6/22	GARAGE DOOR SIZE
4	SEPT 12/22	DIMENSION CHECK

NO.	DATE	DESCRIPTION
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REVISIONS



CIVIC ADDRESS

1490 21 Street NE

PROJECT NO.

CUSTOMER
PAETSCH

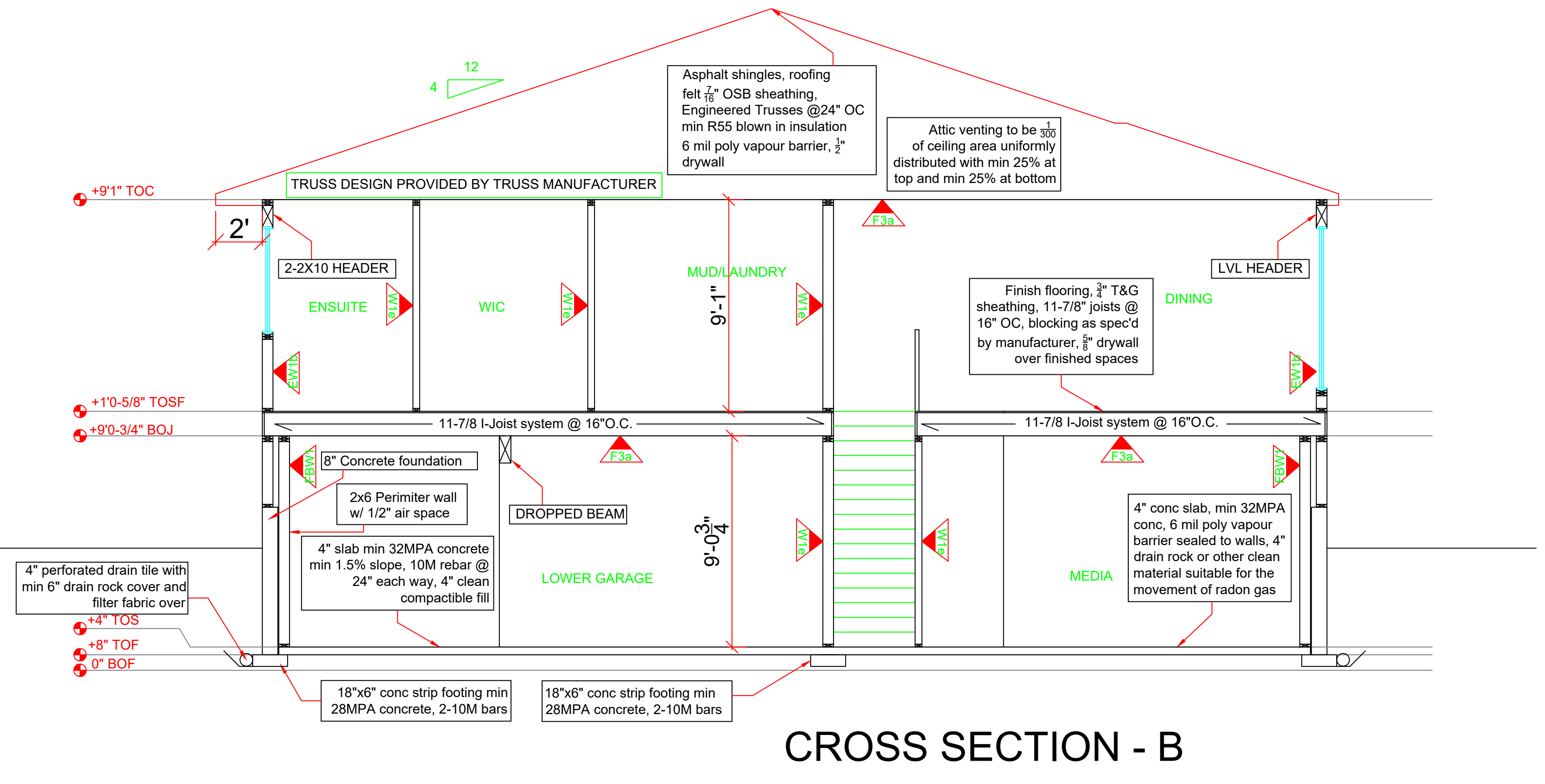
SHEET TITLE

SECTIONS

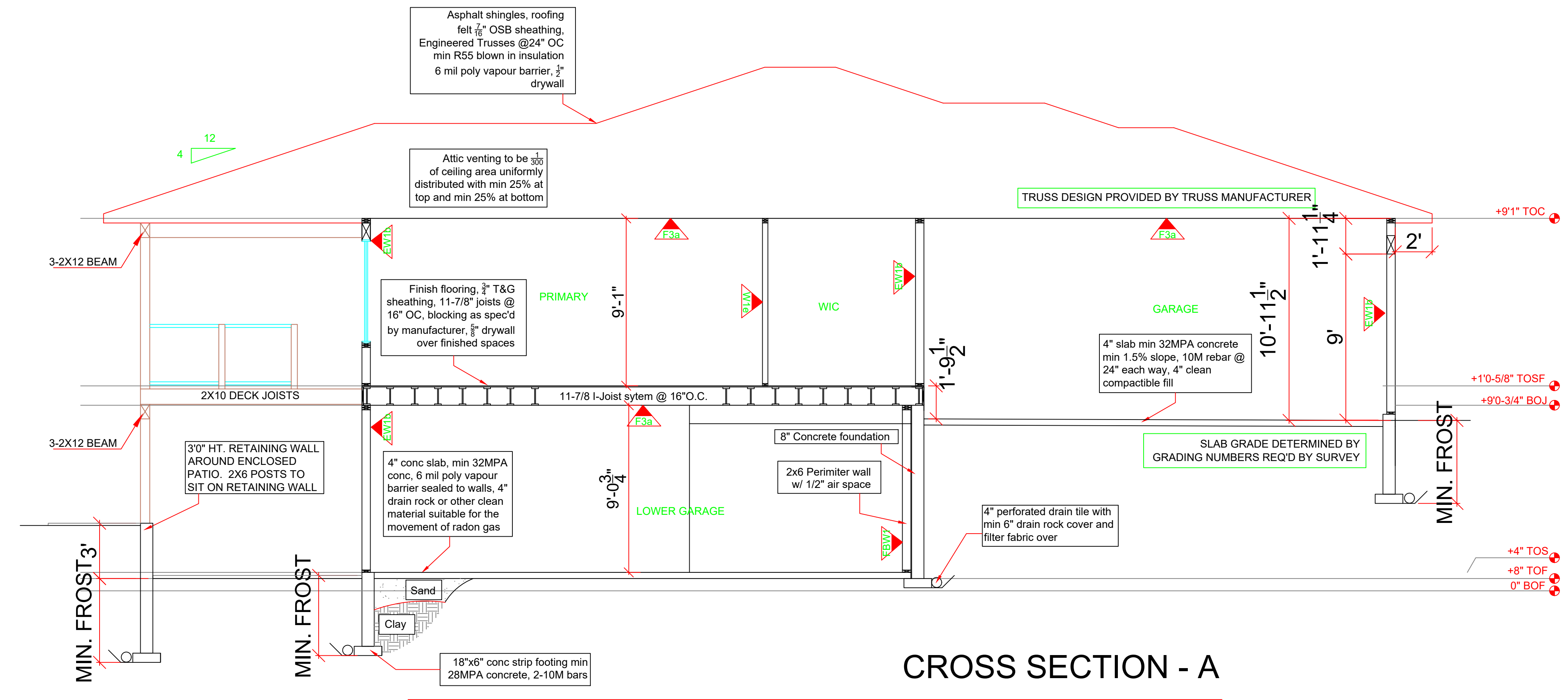
DATE: SEPT 12/22
SCALE: 3/16"=1"
DRAWN: PC
CHECKED: XX

SHEET NUMBER
A-7

MARK			SASH OPERATION	RO WIDTH [+1/8"]	RO HEIGHT [+1/8"]	COMMENTS
W	1	2060	PICTURE	2'0"	6'0"	
W	2	4040	SLIDER	4'0"	4'0"	
W	3	4020	PICTURE	4'0"	2'0"	
W	4	3020	PICTURE	3'0"	2'0"	
W	5	3020	PICTURE	3'0"	2'0"	
W	6	4046	SLIDER	4'0"	4'6"	
W	7	2046	CASEMENT	2'0"	4'6"	
W	8	4046	PICTURE	4'0"	4'6"	
W	9	2046	CASEMENT	2'0"	4'6"	
W	10	6066	PICTURE	6'0"	6'6"	
W	11	2046	CASEMENT	2'0"	4'6"	
W	12	4040	PICTURE	4'0"	4'0"	
W	13	2046	CASEMENT	2'0"	4'6"	
W	14	2046	CASEMENT	2'0"	4'6"	
W	15	4040	SLIDER	4'0"	4'0"	
W	16	1660	PICTURE	1'6"	1'6"	
W	17	4040	SLIDER	4'0"	4'0"	
W	18	3040	SLIDER	3'0"	3'0"	
W	19	4040	SLIDER	4'0"	4'0"	



CROSS SECTION - B



CROSS SECTION - A

MARK			DOOR OPERATION	RO WIDTH [+2"]	RO HEIGHT	SIDE LITES	LOCATION
D	1	16080	OVERHEAD DOOR	16'0"	8'0"		GARAGE
D	2	3080	SWING SIMPLE	3'0"	8'0"		ENTRY
D	3	3080	SWING SIMPLE	3'0"	8'0"		COV. DECK
D	4	3068	SWING SIMPLE	3'0"	6'11"		LOWER PATIO
D	5	3068	SWING SIMPLE	3'0"	6'11"		GARAGE/MUD
D	6	2868	SWING SIMPLE	2'8"	6'11"		DEN
D	7	2868	SWING SIMPLE	2'8"	6'11"		BATH
D	8	2868	SWING SIMPLE	2'8"	6'11"		PANTRY
D	9	2868	BARN	2'8"	6'11"		LAUNDRY
D	10	4068	SWING BI-PART	4'0"	6'11"		MUD CLOSET
D	11	4068	SWING SIMPLE	4'0"	6'11"		MUD CLOSET
D	12	2868	SWING SIMPLE	2'8"	6'11"		WIC
D	13	2868	SWING SIMPLE	2'8"	6'11"		ENSUITE
D	14	2868	SWING SIMPLE	2'8"	6'11"		PRIMARY BED
D	15	3068	SWING SIMPLE	3'0"	6'11"		GARAGE MAN DOOR
D	16	2868	SWING SIMPLE		6'11"		BASEMENT BATH
D	17	5068	SWING BI-PART	5'0"	6'11"		BASEMENT BED 1
D	18	2868	SWING SIMPLE	2'8"	6'11"		BASEMENT BED 1 CLOSET
D	19	2868	SWING SIMPLE	2'8"	6'11"		MECH
D	20	2868	SWING SIMPLE	2'8"	6'11"		BASEMENT BED 2
D	21	5068	SWING BI-PART	5'0"	6'11"		BASEMENT BED 2 CLOSET
D	22	6068	SWING SIMPLE	6'0"	6'11"		HEATED STORAGE
D	23	2868	SWING SIMPLE	2'8"	6'11"		WALKTHROUGH